



Regular Planning Commission Meeting

Tuesday, August 6, 2024, at 5:30 PM

City Council Chambers, City Hall (10 3rd Ave SW)

Any person needing special accommodation for the meeting is requested to notify the City Clerk's office at 857-4752.

1. ROLL CALL
2. PLEDGE OF ALLEGIANCE
3. INTRODUCTIONS AND DECORUM
 - 3.1. INTRODUCTIONS AND DECORUM HANDOUT
4. PLANNING COMMISSION
 - 4.1. APPROVAL OF THE JULY 2024 REGULAR MEETING MINUTES
5. PUBLIC HEARING
 - 5.1. CASE #2024-06-04 - COPACETIC ADDITION - PRELIM PLAT

Public hearing request by Rob Berard representing Jessie & Shanda Olson, owner for a request of a preliminary plat for a portion of unplatted land located in a "M2" Heavy Industrial District. The applicant is requesting a review and approval of a preliminary plat to create a single ten (10) acre lot. The legal description for the property is Government Lot 1, Section 5, Township 155 North, Range 82 West, Ward County, North Dakota. The subject property is unaddressed.

- 5.2. CASE #2024-06-05 - CITY OF MINOT - PUBLIC WORKS SALT & SAND BUILDING - PUBLIC ZONE PLAN REVIEW

Public hearing request by Bryan Banfill, Public Works Operations Director representing the City of Minot, owner for a request of a public zone plan review on a "P" Public District property as a requirement of constructing a new salt & sand storage building. The legal description for the property is Lot 6 Kemper Addition to the City of Minot, North Dakota. The subject property address is 1025 31st Street SE.

- 5.3. CASE #2024-06-06 - ENDEAVOR SOBER LIVING - CUP

Public hearing request by Jonathan Lane, representing Endeavor Sober Living., owner for a request of a conditional use permit for a Group Home (7-12 residents plus staff) on a property zoned "R3" Multiple Residence District. The legal description for the property is Lot 10 Block 4 Prairie Green Third Addition to the City of Minot, North Dakota.

The subject property address is 1101 32nd Avenue SW.

5.4. CASE #2024-07-01 - GREAT PLAINS ADDITION - PRELIM PLAT & ZONE CHANGE

Public hearing request by Travis Zabloutney, representing Leann J Zabloutney Living Trust, owner for a request of a preliminary plat to create two (2) lots for an unplatted half section of land zoned as "C2" General Commercial District. The applicant also requests the property be rezoned to "M1" Light Industrial. The legal description for the property is the N1/2 SE1/4 Section 23, Township 155 North, Range 82 West, Ward County, North Dakota. The subject property is unaddressed.

6. MISCELLANEOUS AND DISCUSSION ITEMS

6.1. ACCESSORY BUILDINGS

7. ADJOURNMENT

INTRO

The Planning Commission evaluates land use applications for compliance with the standards and procedural requirements outlined within the Zoning Supplement to the City of Minot (Zoning Code) and North Dakota Century Code. Further, the Planning Commission is tasked to ensure development within the City of Minot aligns with the City of Minot 2012 Comprehensive Plan (Comprehensive Plan).¹

Planning Department staff are assigned to support the Planning Commission by reviewing applications for compliance with the Zoning Code and alignment with the Comprehensive Plan. Staff summarizes this information to the Planning Commission in the form of written staff reports, which include a recommendation. Oral presentations summarizing a staff report and any additional information obtained since the date said staff report was written is provided as determined necessary by the Planning Commission.

Planning Commission is not required to follow City staff recommendation. However, a deviation from staff's recommendation may require clarification to the findings of fact along with clearly stated reasoning for any alternative recommendation.

Finally, staff is not able to anticipate all information entered into the record via Planning Commissioner discussion or provided by the public during the open public comment period. Staff is available to answer any questions which may arise through discussion.

The Planning Commission renders a decision for variances, interim use permits, and conditional use permits that may be appealed to City Council. The Planning Commission provides recommendations to City Council for all other land use applications.

DECORUM

Persons attending public hearings are expected to conduct themselves with decorum to assure fairness and equity in the proceedings. Participants must:

- Step to the podium/microphone each time you wish to be recognized by the Planning Commission to offer a comment, or to ask or answer a question, and state your name for the record. To ensure minutes of the meeting accurately reflect the individual for which statements are made a sign-in sheet is provided at the podium for those wishing to speak.
- Address all testimony, comments and questions to the Chair of the Commission and not the other participants, the applicant, or the staff. The Chair of the Commission will determine the appropriateness of all questions and when and where to direct them.
- Allow others in attendance an opportunity to present their testimony. Do not interrupt the proceedings with applause, heckling, outbursts or other disruptive behavior.
- Address the issues and application that are before the Commission. These proceedings are not the forum to discuss the appropriateness of particular land use policies, regulations, or alternatives.
- Please silence your phones or set them to vibrate at this time.

¹ Per N.D.C.C 40-48-09, the basic purpose of the plan:

...The plan shall be made with the general purpose of guiding and accomplishing a coordinated, adjusted, and harmonious development of the municipality and its environs, which, in accordance with present and future needs, best will promote the amenities of life, health, safety, morals, order, convenience, prosperity, and general welfare as well as efficiency and economy in the process of development, including adequate provision for light and air, distribution of population, good civic design and arrangement, wise and efficient expenditure of public funds, the adequate provision of public utilities and other public requirements, the improvement and control of architecture, and the general embellishment of the area under its jurisdiction.

On July 2, 2024, a Regular Planning Commission Meeting of the Minot Planning Commission was held in the City Council Chambers, City Hall (10 3rd Ave SW). Chairman Offerdahl called the meeting to order at 05:30 PM.

1. ROLL CALL

Members Present: Annette Mennem, Dustin Offerdahl, Serena Pontenila, Erin Iverson, Kayla Johnson, Tim Baumann, Robert Kibler, Logan Longtin

Members Absent: Dale Dohms

City Staff Present: Tom Joyce, Nick Schmitz, Emily Huettl, Brian Billingsley, Hannah Hornberger, Doug Diedrichsen, Dan Falconer, Scott Samuelson (City Council Member)

Others Present: Harold Rose, Dan Perkins, Linda Gray Burgard, Jerry Langemo, Jolene Stenvold, Sharon Jewell

2. PLEDGE OF ALLEGIANCE

3. INTRODUCTIONS AND DECORUM

3.1. INTRODUCTIONS AND DECORUM HANDOUT

4. PLANNING COMMISSION

4.1. APPROVAL OF THE JUNE 2024 REGULAR MEETING MINUTES

The motion to Approve Minutes was initiated by Planning Commission Representative Baumann seconded by Planning Commission Representative Johnson and carried by the following roll call vote: ayes: Tim Baumann, Erin Iverson, Kayla Johnson, Robert Kibler, Logan Longtin, Annette Mennem, Dustin Offerdahl, Serena Pontenila; nays: None.

5. PUBLIC HEARING

5.1. CASE #2024-05-01 - THOMPSON'S FIFTH ADDITION - ZONE CHANGE

Mr. Diedrichsen went over staff findings

The Commissioners had a discussion.

Chairman Offerdahl opened the public hearing to the public for testimony.

No one appeared to testify.

Chairman Offerdahl closed the public hearing.

The motion to Approve based on staff's findings of fact & recommendation was initiated by Planning Commission Representative Kibler seconded by Planning Commission Representative Pontenila and carried by the following roll call vote: ayes: Tim Baumann, Erin Iverson, Kayla Johnson, Robert Kibler, Logan Longtin, Annette Mennem, Dustin Offerdahl, Serena Pontenila; nays: None.

5.2. CASE #2024-05-04 - HIGHLANDS AT NORTH HILL 3RD ADDITION - VARIANCE

Mr. Diedrichsen presents staff findings.

The Commissioners had a discussion.

Chairman Offerdahl opened the public hearing to the public for testimony.

No one appeared to testify.

Chairman Offerdahl closed the public hearing.

The motion to Approve based on staff's findings of fact & recommendation was initiated by Planning Commission Representative Mennem seconded by Planning Commission Representative Longtin and carried by the following roll call vote: ayes: Tim Baumann, Erin Iverson, Kayla Johnson, Robert Kibler, Logan Longtin, Annette Mennem, Dustin Offerdahl, Serena Pontenila; nays: None.

5.3. CASE #2024-03-01 - POPEYES - VARIANCE

Mr. Diedrichsen gives updates on the current application.

No discussion had by Commissioners.

Chairman Offerdahl opened the public hearing to the public for testimony.

Mr. Rose also gives updates on the property.

Dan Perkins - resident - speaks on the issues he's witnessing.

Linda Gray Burgard - resident - has questions for staff and Mr. Rose

Staff answers Linda's questions

Mr. Rose answered the residents questions and addresses concerns.

Commissioners have questions for Mr. Rose.

Jerry Langemo - resident - spoke on concerns.

Jolene Stenvold - resident - questions timeline.

Sharon Jewel - resident - questions for planners.

Mr. Diedrichsen answers questions.

Mr. Falconer reads in letters that were sent to the planning department.

Chairman Offerdahl closed the public hearing.

The motion to Deny based on staff's findings of fact & recommendation was initiated by Planning Commission Representative Baumann seconded by Planning Commission Representative Kibler and carried by the following roll call vote: ayes: Tim Baumann, Kayla Johnson, Robert Kibler, Logan Longtin, Annette Mennem, Dustin Offerdahl, Serena Pontenila; nays: None.

6. MISCELLANEOUS AND DISCUSSION ITEMS

6.1. 2025 COMPREHENSIVE PLAN GOALS

Mr. Diedrichsen summarizes the goals.

The Commissioners had a discussion.

Other Business 6.2

Commissioner Baumann is recognized for being named Western Planner 2024 : Citizen Planner of the Year

7. ADJOURNMENT

With no further business, Chairman Offerdahl adjourned the meeting at 6:37 pm.



**Planning Commission
Staff Report**

Application Date: 06/14/2024
Date of Staff Report: 07/16/2024
Date of Planning Commission Meeting: 08/06/2024

Staff Contact: Doug Diedrichsen, Principal Planner
Staff Recommendation: Approval

Case Number: 2024-06-04
Project Name: Copacetic Addition – Preliminary Plat
Current Legal Description: See the project description below.
Proposed Legal Description: Copacetic Addition

Present Address: See the project description below.

Entitlements Requested: Major Subdivision Preliminary Plat

Owners: L. Patrick Walsh

Representative: Rob Berard, Ackerman Surveying & Associates, Inc.

Present Zone(s): “M2” Heavy Industrial District

Present Use(s): Crop Production

Uses Allowed in Present Zone(s): See Table 2.2 for allowed and conditionally permitted uses within each district.

Present Future Land Use Map Designation: Heavy Industrial

Proposed Zone(s): No Change

Proposed Use(s): Commercial Self Storage

Uses Allowed in Proposed Zone(s): See Table 2.2 for allowed and conditionally permitted uses within each district.

Proposed Future Land Use Map Designation: No Change

PROJECT DESCRIPTION:

Public hearing request by Rob Berard representing L. Patrick Walsh, property owner for a preliminary plat to subdivide unplatted land into a single lot. The proposed subdivision is to be named Copacetic Addition, being an unplatted portion of Government Lot 1, Section 5, Township 155N, Range 82W, County of Ward, State of North Dakota.

The subject property is unaddressed.

An aerial photo of the subject property can be found in **Exhibit 1**.

BACKGROUND INFORMATION:

The property owner seeks to subdivide a single lot from an unplatted government lot. The proposed subdivision will create a single lot. Lot 1 will be 10.00 acres.

The preliminary plat can be found in **Exhibit 2**.

The zoning and future land use map designation of the subject property and surrounding area is provided in **Exhibits 3**.

Site photos are provided in **Exhibit 4**.

STAFF ANALYSIS:

Subdivision Design Standards:

Section 10.2-7 C. of the Land Development Ordinance of the City of Minot (LDO) covers the process of application and submittal for a major subdivision preliminary plat. The applicant has submitted the necessary application documents required per Section 10.2-7 C. 2. and noticing has been conducted as required per 9.2-1 (B) and (C).

Section 10.2-7. D. requires that staff's report consider the nature of the proposed development as prescribed within Section 10.2-5 relating to whether or not it meets the technical requirements of Article 10, and if not, whether any such requirements should be waived. To that end, staff provides the following guidance based on the various requirements of Chapter 10.3 – Design Standards:

Section 10.3-1, requiring the proposed subdivision to be designed in accordance with the standards of Chapter 10.3, the Land Development Ordinance as a whole, and a list of various other plans and codes, is satisfied.

Section 10.3-2 prohibits the approval of the subdivision of land that is unsuitable for development due to a variety of reasons. Staff finds the proposed preliminary layout, which proposes a single lot, with adequate terrain and access to be suitable for development. Staff finds Section 10.3-2 is satisfied.

Section 10.3-3. requires that a subdivision name not already be utilized elsewhere and spelled correctly. The name Copacetic Addition has not yet been taken and is spelled correctly. Section 10.3-3. is satisfied.

Section 10.3-4. A-F. relating to street names and numbering is not applicable, as there are no additional streets proposed via this subdivision.

The requirements of Section 10.3-11. relating to the design of the individual lots has been satisfied as those properties to be zoned meet the minimum lots size of two (2) acres in the “M2” Heavy Industrial District located in the extra territorial zoning jurisdiction.

Section 10.3-12 relating to block design is not applicable.

The requirements of Section 10.3-13.A. relating to the dedication of right-of-way, easements, and street widths is satisfied due to the dedication of forty foot (40') right-of-way along the Section line lying along the eastern boundary and dedication of ten foot (10') utilities easement along the frontage of the property lines of the subject properties. Staff recommends these dedications be included as a condition of approval for the final subdivision plat.

Sections 10.3-14 relates to sidewalks, which are exempted within the “M2” Heavy Industrial District subdivision unless required by the City Engineering or their designee. Section 10.3-14 is satisfied.

Section 10.3-15 related to public utilities is satisfied. The land is outside of the service area of the municipal water and sewer system. Any development of the property will require the developer to address the need for connection to public utilities.

Section 10.3-21 related to financial security for necessary infrastructure improvements is not applicable.

Section 10.3-22 is satisfied, as the applicant is required to follow all City permitting processes for construction.

Comments:

Comment provided by City Engineering Department

1. There were no public comments at the time of writing this staff report.
2. The application was distributed to city departments and external public agencies within the City for review and the following comments were received.

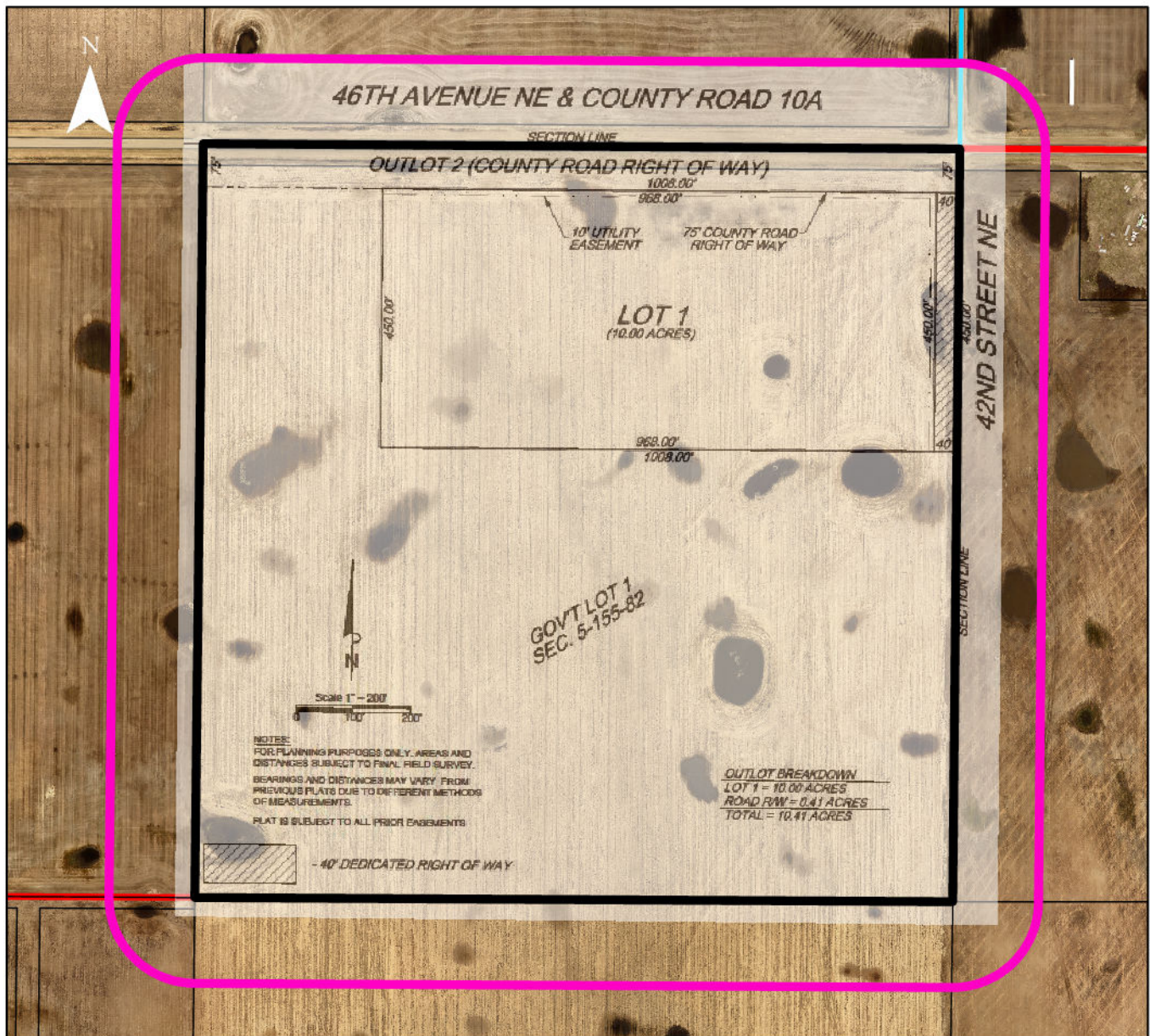
FINDINGS OF FACT:

The Minot Planning Commission should accept the following findings of facts:

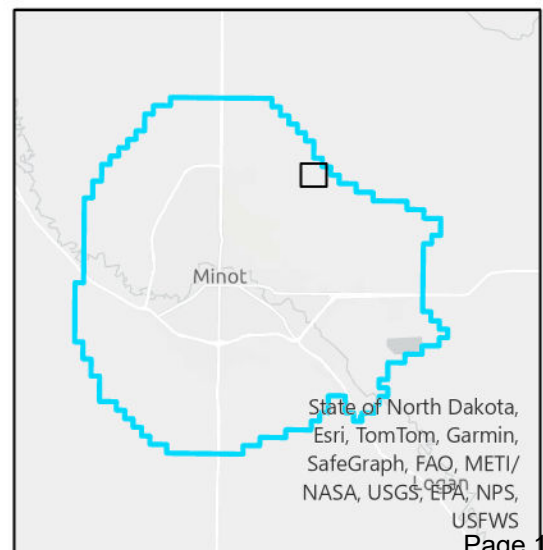
- 1) The applicants have submitted a complete application.
- 2) The property is zoned “M2” Heavy Industrial District on the Official Zoning Map and has a “Heavy Industrial” designation on the Future Land Use Map of the 2040 Comprehensive Plan.
- 3) The applicant’s request is consistent with the bulk requirements of Chapter 2.4 – “M2” Heavy Industrial District of the Land Development Ordinance of the City of Minot (LDO).
- 4) The applicable sections of Chapter 10.3 related to subdivision design are satisfied with the conditions of right-of-way dedications and easements be included on the final plat.
- 5) The Minot Planning Commission has the authority to recommend approval, with or without conditions, or recommend denial of the Major Subdivision Preliminary Plat. The public notice requirements were met, the hearing was legally noticed and posted, and the hearing was held and conducted under the requirements of North Dakota Century Code and Minot City ordinances.

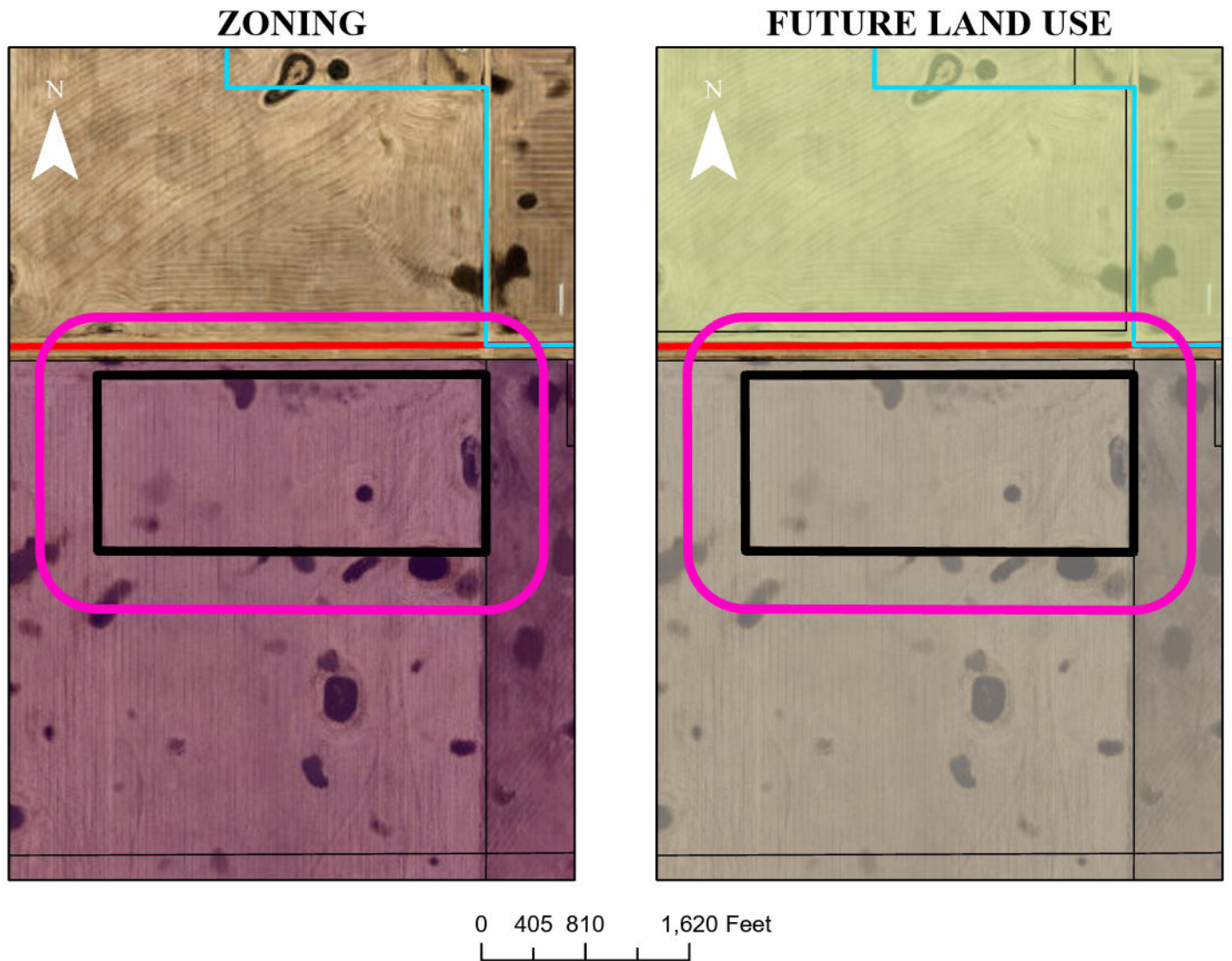
RECOMMENDATION:

Staff recommends the Planning Commission adopt staff findings of fact and recommend City Council approve the Major Subdivision Preliminary Plat for Copacetic Addition with the condition that the right- of-way along the section line and required utilities easements be dedicated on the final plat.



-  Two Mile Boundary
-  City Limits
-  Case# 2024-06-04
-  Case 2024-06-04
-  Notification Area





Zoning

Zoning
M2

Both Maps

Case# 2024-06-04
Case # 2024-06-04
Notification Area

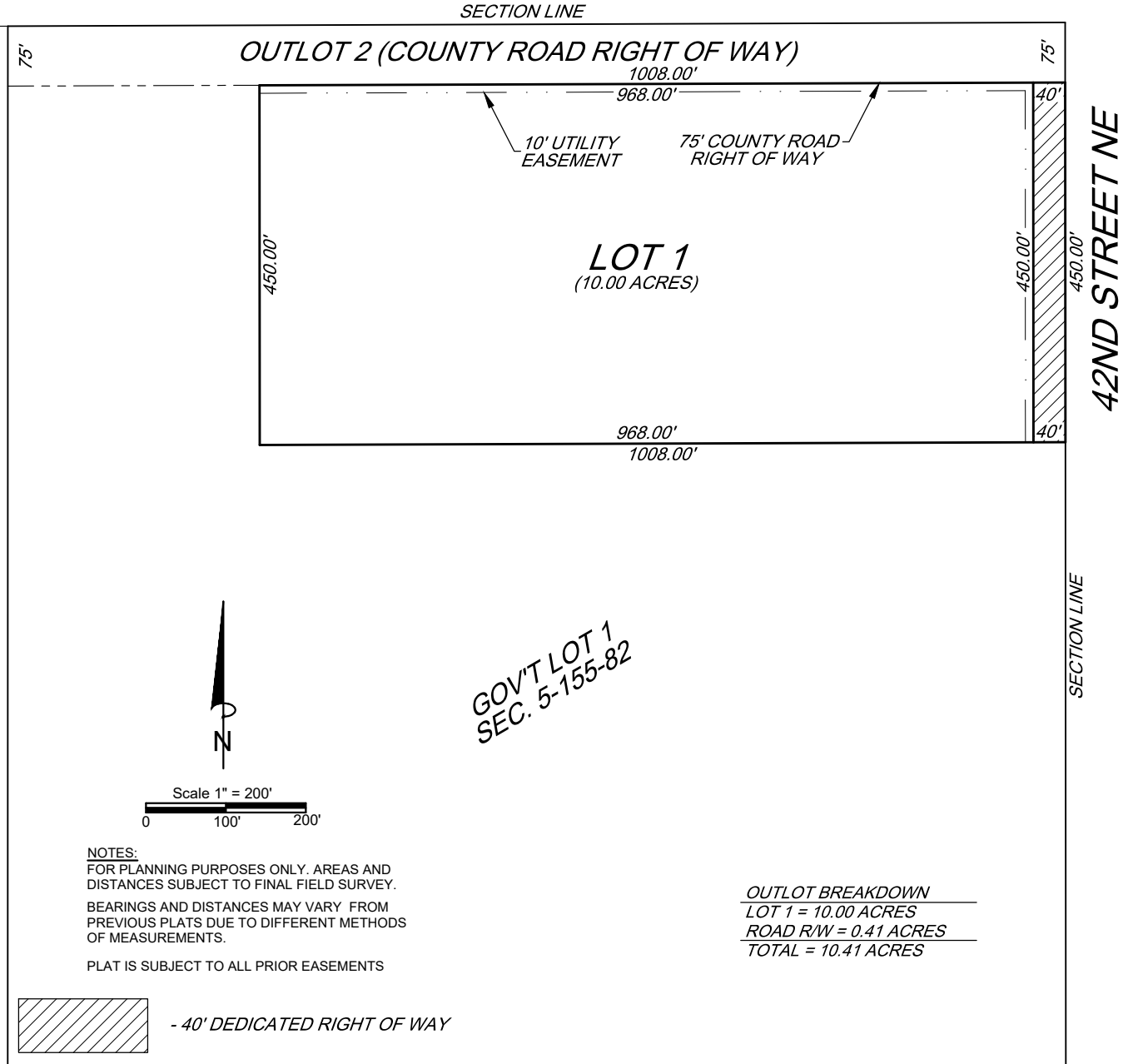
Land Use Type

Agricultural and Open Space
Heavy Industrial

PRELIMINARY PLAT OF COPACETIC ADDITION

TO THE CITY OF MINOT, NORTH DAKOTA
(BEING AN UNPLATTED PORTION OF GOV'T LOT 1, SECTION 5, TOWNSHIP 155 NORTH,
RANGE 82 WEST, WARD COUNTY, NORTH DAKOTA)

46TH AVENUE NE & COUNTY ROAD 10A



ACKERMAN SURVEYING
& ASSOCIATES
(701) 838-0786
1907 17TH ST SE, MINOT, N.D. 58701

Exhibit 4 – Site Photos



Facing Northwest



Facing South



Facing East



Facing Southwest



Planning Commission Staff Report

Application Date: 07/01/2024 Date of Staff Report: 07/16/2024 Date of Planning Commission Meeting: 08/06/2024		Staff Contact: Doug Diedrichsen, Principal Planner Staff Recommendation: Approval	
Case Number: 2024-06-05 Project Name: Public Works Salt & Sand Building – Public Zone Plan Review Current Legal Description: Kemper Addition Lot 6 Proposed Legal Description: No Change Present Address: 1025 31 st St. SE		Owners: City of Minot Representative: Bryan Banfill Entitlements Requested: Approval of site master plan so an accessory structure can be constructed within the public works complex	
Present Zone(s): “P” Public District Present Use(s): Public Works Complex Uses Allowed in Present Zone(s): See Table 2.2 for allowed and conditionally permitted uses within each district. Present Future Land Use Map Designation: Public Institutional		Proposed Zone(s): No Change Proposed Use(s): Public salt and sand storage Uses Allowed in Proposed Zone(s): See Table 2.2 for allowed and conditionally permitted uses within each district. Proposed Future Land Use Map Designation: No Change	

PROJECT DESCRIPTION:

Public hearing request by Bryan Banfill, Public Works Operations Director representing the City of Minot, owner for a request of a public zone plan review on a “P” Public District property as a requirement of constructing a new salt & sand storage building. The legal description for the property is Lot 6 Kemper Addition to the City of Minot, North Dakota.

The address for the property is 1025 31st St SE.

An aerial photo of the subject property can be found in **Exhibit 1**.

BACKGROUND INFORMATION:

The subject property is located in southeast Minot with a residential neighborhood to the south, Industrial uses to the east and west and the Souris Basin Transportation para-transit facility/garage and other industrial uses to the north. The property is owned by the City of Minot, and is utilized as the public works facility consisting of office space, storage buildings and maintenance garage uses. Applicant is seeking a recommendation of approval for a site master plan as required by the LDO.

A copy of a site plan may be found in **Exhibit 2**.

A map of the area zoning and future land use can be found in **Exhibit 3**.

Supplemental materials can be found in **Exhibit 4**.

Site photos can be found in **Exhibit 5**.

STAFF ANALYSIS:

Public Zoned Property Development Master Plan Analysis:

Section 2.22-4 of the Minot Land Development Ordinance (Zoning Ordinance) recognizes that lands zoned “P” Public District require an additional level of review for properties held in public trust. The review of the Public District Master Plan application and any special conditions imposed by either the Zoning Ordinance, the City of Minot Planning Commission, or Development Review Team should occur via a thorough public process as prescribed by Section 9.2-1 including a public hearing, direct noticing to neighboring property owners, and general public noticing within the Minot Daily News. Per Section 9.1-4 I., an amendment to a CUP follows the same process as a new application. The applicant has submitted the necessary application documents required per Section 9.1-4 C. and noticing has been conducted as required per Section 9.2-1.

Section 2.22-4. A & C. and Section 2.22-6 states that the Planning Commission shall find that the application meets all of the following, as applicable:

Section 2.22-4. A. The pre-application meeting with the Development Review Team (DRT) shall be held prior to submittal to Planning Commission. For projects in the “P” zones the composition of the DRT members shall include one (1) member of the Planning Commission and one (1) member of the City Council as appointed by

the Mayor. Section 2.22-4. A. is satisfied with the completion of a development review team meeting on May 1, 2024 attended by Alderman Steven Podrygula and Planning Commissioner Serena Pontenila.

Section 2.22-4. C. The use or change of use of land or building on land zoned “P” District. Any such change by any public agency, or other on public land shall require submittal of a conceptual master plan depicting the general layout of uses on the property, access points, traffic flow, general drainage patterns, sensitive environmental feature and any other additional information as requested by the Development Review Team. Staff finds this section to be satisfied with the submitted site plan.

Section 2.22-6. As with other land development projects, any building constructed or remodeled in the Public Zoning District shall meet specified development requirements. Projects in the “P” zones shall meet the building construction materials and design standards set forth in the C2 zoning district as required in Section 4.2-6 of this ordinance is satisfied.

Comments:

- a) There were no public comments at the time of writing this staff report.
- b) The application was distributed to city departments and external public agencies within the City for review and no comments were received.

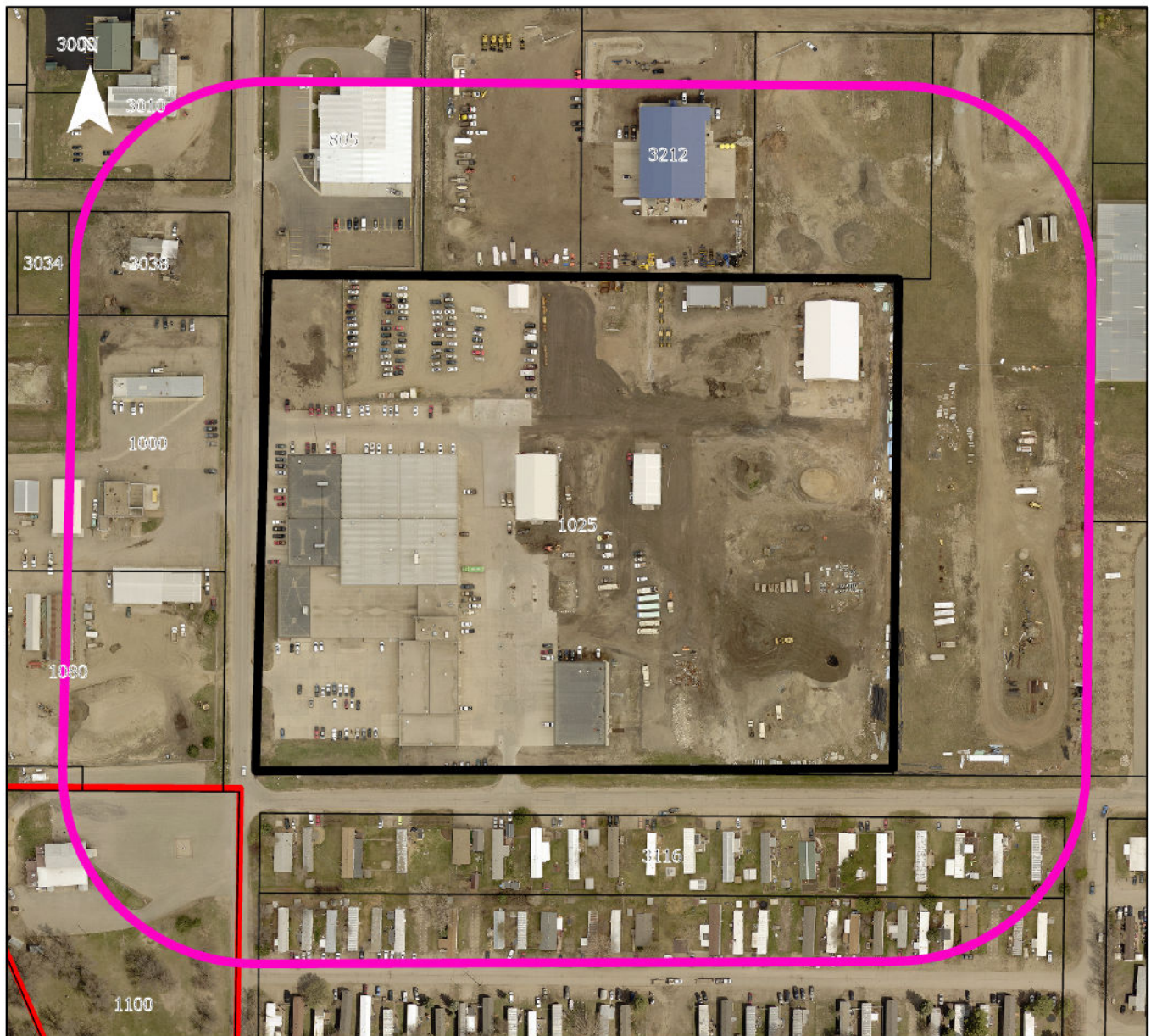
FINDINGS OF FACT:

The Minot Planning Commission should accept the following findings of facts:

- 1) The applicant has submitted a complete application.
- 2) The property is zoned “P” Public District
- 3) The City of Minot 2040 Comprehensive Plan Future Land Use Map designation is “Public Institutional”.
- 4) The proposal satisfies the evaluative criteria per Section 2.22-4. A & C. & Section 2.22-6 as outlined in the Staff Analysis section of staff’s written report.
- 5) The Minot Planning Commission has the authority to recommend approval, with or without conditions, or recommend denial of the Public Land Site Master Plan. The public notice requirements were met, the hearing was legally noticed and posted, and the hearing was held and conducted under the requirements of North Dakota Century Code and Minot City ordinances.

RECOMMENDATION:

Staff recommends the Planning Commission adopt the staff findings of fact and recommend approval of the Public Land Development Master Plan.



-  Case # 2024-06-05
-  Case # 2024-06-05 Notification Area

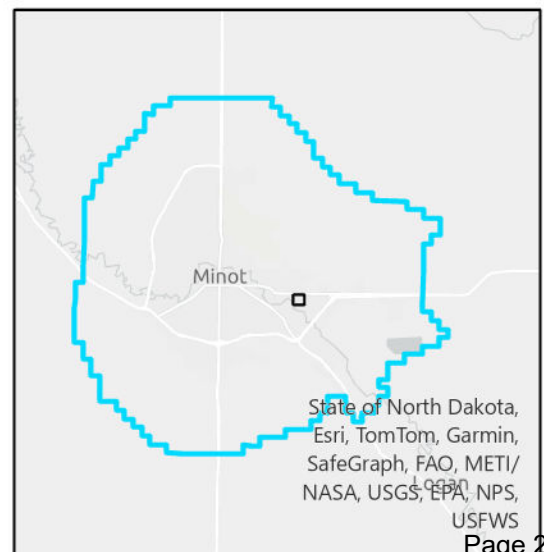




Exhibit 2

PRELIMINARY

This document is preliminary and not for construction or implementation purposes.

Scale: 0 50 100 Feet

North Arrow

2024 STREET DEPARTMENT SALT & SAND BUILDING SITE PLAN				-	-	-	-
Surveyed by	AJC	Drawn by	AJC	-	-	-	-
Designed by	##	Date	06/14/2024	-	-	-	-
Project No.	4830			No.	Revision	Date	By
SHEET 7 OF 9				City of Minot			



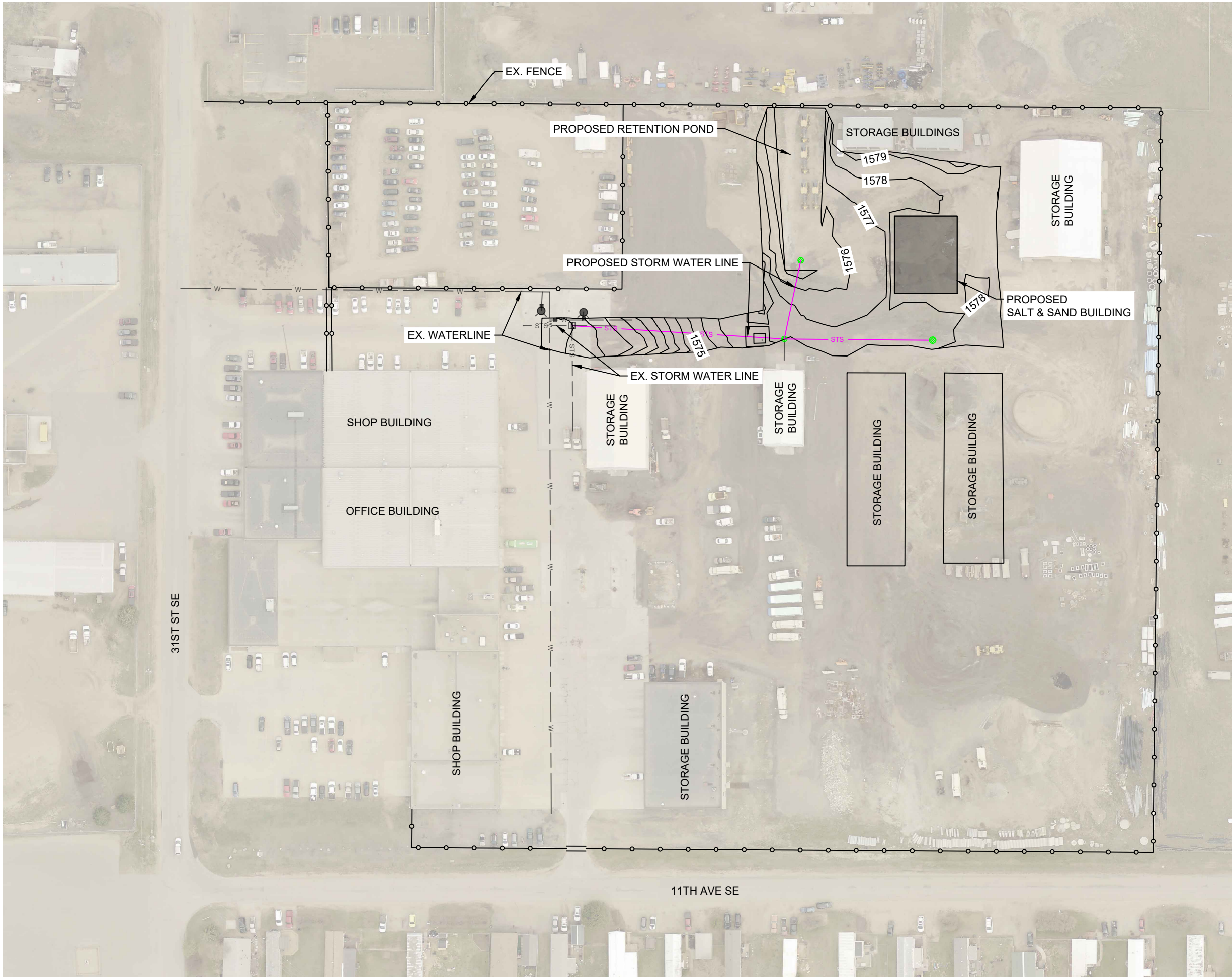
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Scale Feet

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PRELIMINARY

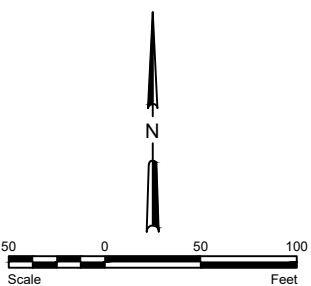
This document is preliminary and not for construction or implementation purposes.

2024 STREET DEPARTMENT SALT & SAND BUILDING LANDSCAPING PLAN				-	-	-	-
Surveyed by	AJC	Drawn by	AJC	-	-	-	-
Designed by	##	Date	06/14/2024	-	-	-	-
Project No.	4830			No.	Revision	Date	By
SHEET				8 OF 9			



PRELIMINARY

This document is preliminary and not for construction or implementation purposes.



2024 STREET DEPARTMENT SALT & SAND BUILDING STORMWATER PLAN				-	-	-	-
Surveyed by	AJC	Drawn by	AJC	-	-	-	-
Designed by	##	Date	06/14/2024	-	-	-	-
Project No.	4830			No.	Revision	Date	By
SHEET				9 OF 9			

ZONING



FUTURE LAND USE



0 245 490 980 Feet

Zoning

Zoning	
	C2
	M1
	MH
	P
	R1

Both Maps

	Case # 2024-06-05
	Case # 2024-06-05 Notification Area

Land Use Type

	Public Institutional
	General Commercial
	Urban Residential
	Light Industrial
	Manufactured Home Community
	Light Industrial

Exhibit 4

Overview of Salt Storage Building **City of Minot, ND**

- 65 feet wide x 80 feet long, one ended building to store road salt.
- Building to be erected on contractor-supplied concrete pad and pier foundations extending 2' above grade
- Interior bunker wall systems to be constructed using 8' tall precast bunker panels along back wall and both sidewalls
- T Wall bunker system to be constructed using 8' tall precast bunker panels to divide building into 2 bins
- Building required to have a minimum interior vertical clearance of 29'-4" tall (including foundation) from finished floor to center as shown in the drawing.
- Contractor must provide engineered, stamped drawings for buildings and foundations by a licensed engineer in the state of where the project is located.
- Work must be completed in 120 days after notice to proceed.
- City of Minot reserves the right to award contract to lowest, most responsible bidder.

WORK BY OTHERS

- Aggregate base under paving and bunker panels
- Excavation and backfill for concrete pad and pier foundations
- Bituminous paving
- Electrical

GENERAL CONDITIONS

- All bidders required to provide bid bond in the amount of 5% of bid (or certified check)
- All applicable state and local taxes to be included in bid amount
- Contractor to provide performance and payment bonds in the amount of 100% of contract amount
- Owner to procure all required permits
- Owner to obtain 3rd party testing agency to complete all required testing and special inspections
 - Contractor to coordinate schedule
- The County reserves the right to reject any or all proposals or any part thereof, and to waive any minor technicalities.

DESCRIPTION

Provide design and construction for a permanent rectangular shape tension membrane covered truss type building. The structure shall meet or exceed the performance criteria of this specification.

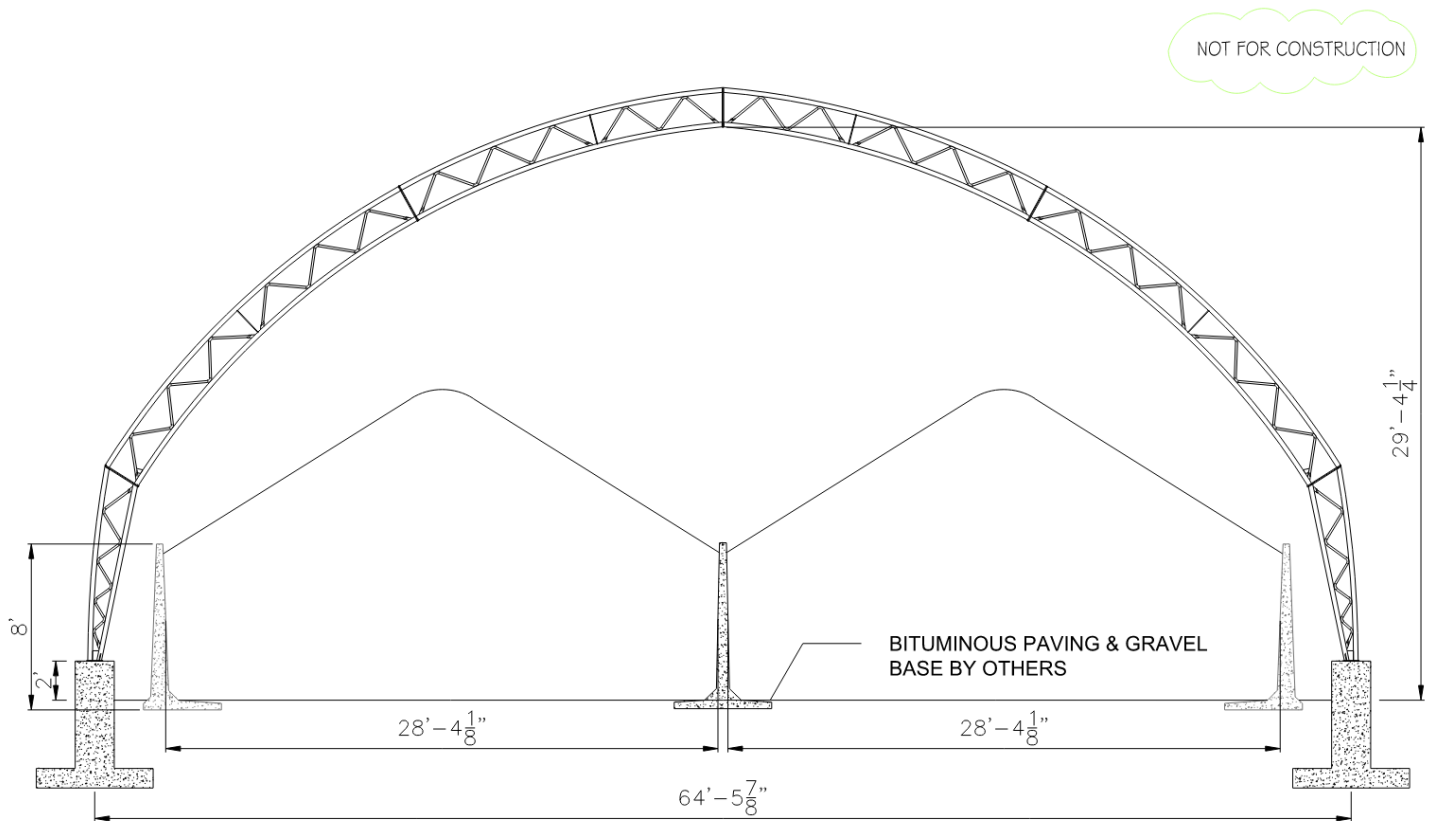
City of Minot, (here after, “The City”) has evaluated different styles of Fabric Structures and has determined that this published specification is best suited for The City’s needs in terms of quality and features. This specification shall not be interpreted as restrictive but rather as a measure of quality and performance against which all other Fabric Structures will be compared.

In comparing proposals, comparison will not be confined to price only. The successful proposer will be one whose product is judged as best serving the interests of The City by way of product, quality, delivery, and price. The City also reserves the right to reject any or all proposals or any part thereof, and to waive any minor technicalities. A contract will be awarded to the proposer submitting the best responsible proposal meeting the product requirements.

The specification herein states the minimum requirements of The City. All proposals must be regular in every respect. Unauthorized conditions, limitations, or provisions shall be cause for rejection. The City will consider as irregular or non-responsive any and all proposals that are not prepared and submitted in accordance with the proposal document and specification, or any proposal lacking sufficient technical literature to enable The City to make a reasonable determination of compliance to the specification. It shall be the proposer’s responsibility to carefully examine each item of the specification. Failure to offer a completed proposal or failure to respond to each section of the technical specification will cause the proposal to be rejected without review as non-responsive. All variances, exceptions and/or deviations shall be fully described. Deceit in responding to the specification will be cause for rejection.

Scope of Work and Specification for a Fabric Membrane 65' x 80' Salt Storage Structure

City of Minot



PRECAST CONCRETE BUNKER PANELS (8' HIGH)

1. SCOPE:

Furnish and install pre-cast concrete bunker panels (L&T -panels) as indicated on the drawings and hereinafter specified. Includes bunker panels, shipping, placement, installation of strap ties and base screw anchors if required.

A. Work by others.

Asphalt pavement repairs and back filling around panel by owner.

2. SUBMITTALS:

The contractor shall submit shop drawings of the bunker panels to the architect prior to fabrication of the panels.

3. MATERIALS:

A. Bunker panels shall be reinforced cast concrete as manufactured by Hanson Silo Co, Wieser Concrete, or approved equivalent. Units shall conform to size, layout, and jointing as detailed on the Plan sheets. Units shall be neat, straight, and precisely formed in the best possible manner. Concrete shall have a minimum compressive stress of 5,500 psi, air entraining of 5%, allowable slump of 2 inches, and type 3A cement.

B. Panels shall be provided with steel reinforcing. Reinforcing layout shall be manufacturer's standard detail. Panels shall be provided with lifting hooks or holes for installation maneuverability.

4. ANCHORAGE:

Connector threaded rods, washers and bolts, etc. provide the necessary anchors, as required for a first class installation.

5. CURING:

Curing of the present concrete bunker panels shall be under controlled moisture conditions for a minimum of seven days.

6. ADMIXTURES:

A. Provide corrosion inhibitor concrete panel mix. Corrosion inhibitor shall be "WR Grace DCI corrosion inhibitor ASTM C494 Type C" or approved equivalent.

B. Corrosion inhibitor admixture shall be mixed at a ratio which is compliant with manufacturer's instructions.

7. PREPARATION:

- A. The contractor shall coordinate delivery and erection of precast bunker panels, provide clear site, provide and maintain access to roads to allow crane and trucks to reach work areas under their own power.
- B. Care shall be taken to protect the work and material of other trades during installation of the bunker panels.

8. INSTALLATIONS:

- A. Precast bunker panels shall be installed according to drawings and details by workmen experienced in bunker panel erection.
- B. Units shall be erected tight and at right angles to bearing surfaces unless shown otherwise. Align and level precast concrete slabs using granular fill.
- C. Caulking or Sealing between joints should be manufacturer's standard detail
- D. After erection and caulking is complete the general contractor will be responsible for the protection of the bunker panels.

CAST-IN-PLACE CONCRETE

1. SCOPE:

- A. Furnish and install 2' high cast-in-place concrete drilled piers, including formwork, reinforcement, concrete materials, and all related items necessary and incidental to placing of all cast-in-place concrete work.
- B. Furnish and install hot dipped galvanized column anchor bolts

1.1 SUBMITTALS:

- A. Submit design mixtures: For each concrete mixture.
- B. Steel Reinforcement Shop Drawings: Placing drawings that detail fabrication, bending, and placement.

2.0 FORM-FACING MATERIALS

- A. Concrete not exposed to view may be formed with wood, steel or fiberglass forms. Forming of exposed concrete shall be done with particular care in order to provide the finish concrete work. Forms shall be thoroughly wet down before pouring.
- B. Form Releasing Agent: Provide colorless non-staining oil which shall not impair bonding or interfere with adhesion of applied finishes.

2.1 STEEL REINFORCEMENT

- A. All steel for reinforcement shall be new, unrusted stock, free from mill scale and delivered without rust other than what may have occurred in prompt transportation to the job site.
- B. Reinforcing bars shall be new billet intermediate grade deformed bars conforming to ASTM A615 Grade 60 having a minimum yield point of 60,000 psi, and bent and cut as required by the drawings. Provide epoxy coating where noted on drawings. Bar shall have tags showing where they were manufactured.
- C. Bar Supports: Bolsters, chairs, spacers, and other devices for spacing, supporting, and fastening reinforcing bars and welded wire reinforcement in place. Manufacture bar supports from steel wire, plastic, or precast concrete according to CRSI's "Manual of Standard Practice."
 - 1. Supports for reinforcing bars in footings and slabs on grade shall be of sufficient strength to adequately support the bars,
 - 2. Bars in footings shall be supported on precast concrete blocks or chairs.
 - 3. Tie wire shall be No. 16 American wire gauge or heavier, black annealed.

2.2 CONCRETE MATERIALS

- A. Cement –Portland Cement. Use cementitious materials, of the same type, brand and source throughout project.
 - 1. Acceptable Substitutions:
 - a. Fly Ash, ASTM C 618, Class F or C
 - b. Pozzolan

c. Silica Fume

B. Aggregates for concrete –Maximum nominal size shall be as follows:

1. Footings – 1-1/2"
2. All other concrete – 3/4"

C. Water – Clear and free from deleterious amounts of acids, alkali's or organic material.

2.4 ADMIXTURES

A. Air-Entraining Admixture Acceptable Manufacturers:

1. Darex
2. Protex
3. Sika
4. GRT

B. Other Admixtures may be used only with the prior approval of Structural Engineer of Record.

2.5 CONCRETE MIX DESIGN

A. Concrete mix design specified by Engineer of Record, minimum properties for concrete mix design follow.

B. F'c denotes Minimum Compressive Strength at 28 days.

C. The Mix Design for cast in place concrete shall be as listed below:

1. Cementitious Materials: Limit percentage, by weight, of Cementitious materials other than Portland cement in concrete as follows:
2. Fly Ash: 15 percent
3. Combined Fly Ash and Pozzolan: 20 percent
4. Silica Fume: 10 percent
5. Combined Fly Ash, Pozzolans and Silica Fume: 20 percent with fly ash or pozzolans not exceeding 15 percent, and silica fume not exceeding 10 percent.

D. Footings F'c = 3000 psi @ 28 days

1. Maximum aggregate: 1½"
2. Maximum Water-Cementitious Material Ratio: 0.55

E. Piers, curbs, precast toe extensions: F'c = 4000 psi @ 28 days

3. Maximum aggregate: 3/4"
4. Maximum Water-Cementitious Material Ratio: 0.45
5. Air entrained (6% +/- 1.5% for 3/4" maximum aggregate size)

F. Structural Concrete F'c = 4000 psi @ 28 days

1. Maximum aggregate: 3/4"
2. Maximum Water-Cementitious Material Ratio: 0.45
3. Air entrained (6% +/- 1.5% for 3/4" maximum aggregate size)
 - a. 7% +/- 1.5% for 1/2" maximum aggregate size
 - b. 7.5% +/- 1.5% for 3/8" maximum aggregate size

3.0 STEEL REINFORCEMENT

A. General: Comply with CRSI's "Manual of Standard Practice" for placing reinforcement.

B. Store reinforcement up on timbers out of mud or dirt. Avoid excessive rusting or coating with grease, oil, dirt, or other materials that may reduce bond to concrete.

C. Reinforcement shall be accurately placed in accordance with shop drawings and securely tied at intersections with 16 gauge black annealed wire, and shall be maintained in proper position by chairs, bar supports, or other approved devices.

1. Reinforcing shall not be supported by wire tied to the formwork.

D. Clear distance between bars shall be not less than 1-1/2", 1.5 times bar diameter, nor less than 1.5 times the maximum size of coarse aggregate.

E. Concrete protection of reinforcing shall be not less than the following:

1. 3" where concrete is poured against soils.

2. 3" where concrete is poured against forms but may be in contact with soils.

3. 3" minimum in exterior face of exterior walls (exposed to weather but not in contact with soils).

4. 3" clear to stirrups in concrete piers exposed to earth or weather.

F. Bars shall lap 48 diameters at splices unless otherwise indicated.

1. Splices in adjoining horizontal bars shall be staggered wherever possible.

2. Horizontal bars shall be hooked around corners not less than 32 diameters, with a minimum of 20" as per typical details.

3.1 MIXING OF CONCRETE

A. The Concrete shall be mixed until there is a uniform distribution of materials and the mixture is uniform in composition and consistency. Each batch shall be completely discharged before the mixer is recharged.

B. "Ready-mixed" concrete shall be mixed and delivered in accordance with the "Standard Specifications for Ready-Mix Concrete" (ASTM C-94).

1. The source of the ready-mixed concrete shall be approved by SER.

2. Materials for concrete shall be placed in the mixer drum of the truck at the plant and the drum revolved continuously until the concrete is discharged.

3. No additional water shall be added after the truck leaves the plant without the approval of the Engineer unless noted on the batch ticket.

4. The delivery ticket for each truck shall have the time of departure from mixing plant stamped on the ticket.

5. Delivery and placing time:

a. There shall be a maximum of one and one-half (1-1/2) hours between the time that the concrete is placed in the truck and the placing of concrete in the forms.

b. During hot weather, not more than one hour (60 minutes).

6. Follow ACI-305 for hot weather provisions.

C. No re-tempered concrete shall be used.

3.2 PREPARATION FOR CONCRETE PLACEMENT

A. Before placing concrete, verify that installation of formwork, reinforcement, and embedded items is complete and that required inspections have been performed.

B. Cold-Weather Placement: Comply with ACI 306.

1. Adequate equipment shall be provided for heating of concrete materials and protecting the concrete during freezing or near freezing weather.
 - a. No frozen materials or materials containing ice shall be used.
 - b. All concrete materials and all reinforcement forms, fillers and soils with which the concrete is to come into contact shall be free from frost.
2. Before placing concrete in any form or on any surface, or around reinforcement in freezing weather, heat shall be applied in such a manner that ice and snow will be completely removed.
 - a. No concrete shall be placed on a sub-grade that is frozen or that contains frozen material.
 - b. Heating devices shall be started at least (3) hours or more before starting concrete operations.
3. Whenever the temperature of the surrounding air is below 40° F. all concrete placed in the forms shall have adequate heat to insure proper curing of the concrete. Temperature of the air within the enclosure must not be above 80° F. to prevent too rapid drying or below 60° F.

C. Hot-Weather Placement: Comply with ACI 305.

1. When air temperature is between 85 and 90 deg F, reduce mixing and delivery time from 1-1/2 hours to 75 minutes; when air temperature is above 90 deg F, reduce mixing and delivery time to 60 minutes.

3.3 CONCRETE PLACEMENT

A. When concreting is once started, it shall be carried on as a continuous operation until the placing of the panel or section is complete. The concreting shall be carried on at such a rate that the concrete is at all times plastic and flows readily into the forms and around the reinforcing.

1. If a section cannot be placed continuously, provide construction joints as indicated.

B. Concrete shall be conveyed from the mixer to the place of final deposit by methods which will prevent separation or loss of material.

1. Equipment for chuting, pumping and pneumatically conveying concrete shall be of such size and design as to insure a practically continuous flow of concrete at the delivery end without separation of materials.
2. Concrete shall be deposited as neatly as practicable in its final position to avoid segregation due to re-handling.
 - a. Limit free-fall distance to 4 ft. Use hoppers, trunks or drop chutes as needed to meet maximum free-fall requirement.
3. No concrete that is partially hardened or been contaminated by foreign material shall be deposited in the work.

C. All concrete shall be thoroughly compacted by suitable means during the operation of placing, and shall be thoroughly worked around reinforcement and embedded fixtures and into the corners of the forms,

1. The concrete shall be compacted by mechanical vibration. Use sufficient number of vibrators to properly consolidate concrete within twenty minutes after depositing concrete in forms.
2. Do not vibrate forms or reinforcement. Avoid applying vibrating element to reinforcement extending into hardened or partially hardened concrete.

3. The top surface shall be level or as indicated on drawings.

3.4 REMOVAL OF FORMS

A. Forms for Footings - may be removed after 18 hours from completion of pour, provided the concrete is sufficiently hard.

B. Forms shall be removed in such a manner as to insure the complete safety of the structure.

C. Forms for concrete piers shall be left in place for at least 48 hours after completion of pour.

3.5 CONCRETE SURFACE REPAIRS

A. Defective Concrete: Repair and patch defective areas when approved by Engineer. Remove and replace concrete that cannot be repaired and patched to Engineer's approval.

1. General Contractor to provide sequence of operations for repair and/or patching of defective areas for review and approval by Engineer, as requested.

B. Defective Areas:

1. Honeycomb, rock pockets, voids over ¼-inch in dimension, holes left by tie rods and bolts.

2. Formed surfaces.

a. Defective Areas Exposed to view.

b. Concealed Formed Surfaces.

1) Repair defects that affect durability of concrete where possible. If defects cannot be repaired, remove and replace.

3.6 FIELD QUALITY CONTROL

A. Testing and Inspecting: Owner will engage a qualified testing and inspecting agency to perform field tests and inspections and prepare test reports as required by Local Building Code and IBC Chapter 17.

TRUSS ARCH FABRIC COVERED STEEL FRAME BUILDING

1. PART 1

1.1 INTENT OF SPECIFICATION

- 1.1.1 This specification covers the design, manufacture, shipping, handling and erection of a prefabricated membrane covered structure.
- 1.1.2 The specification as heretofore set forth is general in nature and scope and shall not be construed as to limit the work other than the requirement that the new *re-locatable* building shall match the specifications in materials, appearance, configuration and details.
- 1.1.3 It is the intent of this specification that the bidder shall include all labor, materials, equipment services and transportation to locate the building on the site designated with all other work.
- 1.1.4 Buildings shall be complete and operating and shall include all exterior and interior materials and systems as shown or indicated in contract documents.
- 1.1.5 All workmen shall be skilled and qualified for the work they perform. All material used, unless otherwise specified, shall be new and of the types and grades specified. The contractor shall certify that no asbestos containing materials that exceed Federal mandated safe asbestos levels have been used in the construction of the membrane covered structure.
- 1.1.6 Work shall be performed as necessary and required for the construction of the project as indicated. Such work includes the supply and installation of a membrane-covered structure complete with exterior and interior finishes. The building shall be as dimensioned with all features and quantities as per specification.

1.2 APPROVAL OF PLANS

- 1.2.1 **Upon award of this contract, the contractor shall furnish detailed drawings for all structural work stamped by an engineer certified by the state of where the project is located to verify compliance to local building code.**
- 1.2.2 All work to be performed under the conditions of this specification shall comply with the rules and regulations of all agencies having jurisdiction for this classification of construction and design and shall conform to the applicable live loads due to wind, rain and snow.
- 1.2.3 **Manufacturer's Qualification:** The fabricator of the building or building components shall be regularly engaged in the fabrication of this type of building. They must meet the requirements of this Section and shall show evidence of having an adequate manufacturing facility, equipment, and a quality control system. The fabricator must provide evidence upon request that they have produced a minimum of 50 such structures in the previous 12 months before acceptance of this contract. A reference list of 5 salt buildings shall be provided upon request. The fabricator shall be subject to the Director's approval.
- 1.2.4 **Fabric Warranty:** All membranes used are to be North American made, water and mildew resistant, insect proof, and UV stabilized. They are to withstand extreme climatic variations and contain ultra-violet inhibitors to reduce degradation by the sun's rays. Manufacturer is to provide a minimum **20-year** pro-rata warranty on non-fire rated fabric and a 15- year pro-rata warranty on fire rated fabric according to the standard manufacturer's warranty.
- 1.2.5 **Steel Truss Warranty:** Truss Framework tubing must be Hot Dip Galvanized inside and out of tubing - **completely after fabrication.** Failure to provide proof of this will cause the bid to be denied. The manufacturer is to provide a minimum **20-year** pro-rata warranty on the trusses according to the standard manufacturer's warranty.
- 1.2.6 **Building Erectors:** The building erector shall be regularly engaged in the erection of fabric *covered* buildings, meeting the requirements of this Section. The erectors must provide evidence that they have constructed a minimum of 5 such structures in a US Municipal contract setting in the past 12 months before acceptance of this contract – provide references and contact information for these structures. The erectors shall be subject to the approval of the Director.

- 1.2.7 Building Erector: Crew supervisor shall provide minimum **10-Hour OSHA Card** prior to work commencement. All workers on site shall provide all applicable equipment operator certifications prior to work commencement.

1.3 WORKMANSHIP

- 1.3.1 The workmanship of all materials and components of the structure shall be commensurate with the functional requirements of the item
- 1.3.2 Building manufacturer shall fabricate such structure under factory conditions in a plant specifically arranged for this type of work. Fabricator shall provide adequate space, equipment, personnel and technical ability to coordinate the assembly and factory prefabrication of all major components of the work and all necessary operations in the packing, shipping and installation procedures. No fabrication shall be done until the materials have been tested and approved.
- 1.3.3 Welding: Truss fabricator must be an approved welding fabricator to standards listed herein. A copy of AWS certification must accompany the structural drawings upon request.
- 1.3.4 On site welding: If welding is required on site, no welding shall commence until the AWS welding inspector has inspected and approved the materials, joint preparation, equipment and qualifications of the welders in accordance with the standards herein.

1.4 DIMENSIONS

- 1.4.1 The structure shall be arched shaped in profile
- 1.4.2 The structure shall occupy an area of at least 65 feet in width and 80 feet in length
- 1.4.3 The structure shall provide for a **minimum interior clearance of 29'-4" from finished floor to underside of truss system in center of building for unobstructed loading and unloading of material into the bunker** as shown in the drawing.
- 1.4.4 Structure shall have one end enclosed
- 1.4.5 Bunkers shall be 3-sided, constructed of precast sectional concrete bunker panels, "L"-shaped, 8' tall with corrosion inhibitor (subject to approval by director)
- 1.4.5.1 Center divider constructed of precast sectional concrete bunker panels "T"-shaped, 8' tall with corrosion inhibitor
- 1.4.6 Britespan Atlas 65 L10 or approved equal.

1.5 SCOPE OF WORK

- 1.5.1 Provide design and construction for a permanent rectangular shape tension membrane covered truss type building. The structure shall meet or exceed the performance criteria of this specification.
- a. Building shall be mounted on contractor supplied, cast-in-place concrete pad and pier foundation:
 - a. Piers shall be 2 feet above grade
 - b. Truss spacing shall be maximum 16 feet on center
 - a. All excavation and backfill to be performed by the owner
 - c. One endwall
 - d. Fabric terminated approximately 12" above the top of the concrete foundation.
 - e. Fabric color selection by Director from manufacturer's available color pallet.
 - f. Precast concrete bunker walls set interior to the building, separate from the foundation.
 - a. 8 feet tall "L"- style walls per the floor plan drawing
 - b. 8 feet tall "T"-style walls per the floor plan drawing
 - c. Exact distance between panel walls TBD once final profile has identified with apparent low bidder

- d. Salt Inhibitor application to be approved by Director prior to execution of contract
- g. Anchor bolts

- 1.5.2 Building design and foundation design to be stamped by an engineer certified by the state where the project is located to verify compliance to local building code and installed by contractor
- 1.5.3 Delivery of all materials to site by contractor
- 1.5.4 All lifts and equipment for installation of all items by contractor
- 1.5.5 Complete Structure & Accessory installation by contractor

PART 2

2.1 GENERAL DESIGN REQUIREMENTS

2.1.1 SCOPE

1. The membrane shall be tensioned over the framework. The structure shall be rectangular in shape with one end wall. The interior of the structure below the main trusses shall be clear span free of any structural support members and shall provide unobstructed floor space. No exterior purlins, guy ropes or cables shall be used for anchoring the structure.

2.1.2 DESIGN REQUIREMENTS – STRUCTURAL FRAME

1. Structure shall be engineered so it is capable of withstanding the loads specified in ASCE 7-10, and the IBC 2015 code year edition without failure or damage. Design must incorporate both balanced and unbalanced loads. Additional rain on snow surcharge loading must also be added to gable shaped (non-arch) buildings per ASCE 7-10.
2. The main structure shall consist of a welded truss arches comprised of parallel tubes separated apart by tubular webs. The truss cords must be made from round tubular steel with a continuous round tubular web separating the inner and outer chords. Exact chord and tubular web diameter and gauge to be called out by the manufactures engineering requirements provided they meet or exceed the below minimum mandates. **Chord plastification calculations must be included on the structural drawings when chords are made with lighter than 10 ga. Steel.**
 - a. Meet or exceed the following design dimensions for open web chord truss:
 - i. Truss Weight: 1114 lbs Minimum
 - ii. Truss Chord Depth: 24” Minimum
 - iii. Chords Diameter 2.875” Minimum
 - iv. Chords Wall 10 ga Minimum
 - v. Web Size 1.125” Minimum
 - vi. Web Wall 14 ga Minimum
 - vii. Truss spacing **16’ OC Maximum Mandatory**
3. Structure must be capable of maintaining structural integrity in the event of a tear propagating in the fabric, without endangering occupants.
4. Truss framework tubing shall be **Hot Dipped Galvanized after fabrication** as per Building Product requirements stated herein. The Hot Dip Galvanizing must meet ASTM 123-12 as per the building code. Acceptable products:
 - a. Hot Dip Galvanized Product, galvanized inside and out **after** fabrication is completed
 - b. Aluminum
5. All purlins used in the building must be a minimum of 2-7/8” inches in diameter, 14ga min, made from one single piece of pipe, and be attached to the truss using a double bolted configuration with 2-5/8” bolts minimum attached directly to the welding dog bone or kingpin of the truss on each end. Saddle brackets are not suitable attachment as they allow rotational movement to occur. Purlins must be hot dipped galvanized – inline galvanizing, Gatorshield or Triple Coat are not acceptable. Cross “X” purlins will not be accepted as they tend to hold snow due to how they mount to the truss at the top chord.

6. Building must utilize cross cables in each end bay to prevent racking. Cables must be a minimum of 5/16" galvanized that is 7 by 19 commercial grade and must be secured to structural welded truss member using a solid bolted or clevis connection and they must be adjustable for proper tensioning with a galvanized, lockable turnbuckle. Cable assemblies attached with open hooks or loops will not be allowed. Cables are to be assembled using a press swedged connection, clamps will not be allowed as the can slide. Cables must terminate at every bay to prevent the removal of galvanizing at wear points causing rust.
7. All tie down pipe that is used to fasten the cover to the building must be secured by a 10,000-pound lashing winch at every truss located on the outside of the structure. This ensures the attachment hardware will not be exposed to the corrosive salt material diminishing the useful life of the hardware. Ratchet strap attachment to the tie down pipe will not be accepted as a main cover tensioning system. Tension pipe used for the main cover shall be oval or rectangular and installed in a vertical manner to minimize deflection when bay spacing exceeds 12' on center.
8. All bearing plates and other structural members must be hot dipped galvanized "POST" fabrication, no welding shall take place after the galvanized coating is applied.
- 9. All anchor bolts, bolts and washers etc., shall be Hot Dip Galvanized.**

2.1.3 ENGINEERING DESIGN CRITERIA

1. IBC 2015	ASCE 7 – 10
2. SNOW LOAD	35 PSF ground snow load
3. COLLATERAL LOAD	0.25 pounds per square foot projected over entire roof
4. WIND LOAD	105 V-ult
5. Exposure	C
6. OCCUPANCY CATEGORY	CAT I – Low Human Occupancy
7. RAINFALL	4" per hour, for at least 2 hours
8. USE GROUP	S-2
9. CONSTRUCTION TYPE	II-B
10. FLAMMABILITY	ASTM E84
11. WIND IMPORTANCE FACTOR	1.0
12. SNOW IMPORTANCE FACTOR	0.8
13. SEISMIC DESIGN CATEGORY	B

D=Dead Load + Collateral Load

S=Symmetrical Snow or Live Load (Balanced or Unbalanced)

Ws = Wind Internal Suction

Wp = Wind With Internal Pressure

E = Earthquake

2.1.4 Structure shall be capable of being assembled, operated and dismantled in all ambient temperatures between -20F and 120F

2.2 MATERIALS

2.2.1 Membrane Performance Minimum Standards

Coated Weight	12 oz/yd (407 gsm)+/-5%
Coating Thickness	4 mils average, each side +/-2%
Finished Thickness	23 mils (ASTM D1777)
Grab Tensile Strength, lbs	345 lbs Weft (ASTM -D5304) 370 lbs Warp (ASTM -D5035)
Tongue Tear Strength, lbs	100 lbs Weft (ASTM -D2261) 110 lbs Warp (ASTM -D2261)
Mullen Burst	650 psi (4428 kPa)
Cold Crack Resistance	-55°C (ASTM -D2136)
Resistance to UV & Weathering	90% retention after 2000 hr.
Low Temperature Bend	-60 Degrees Celsius ASTM D2136
FR Performance	ASTM E84

2.2.2 The stressed membrane structure must be designed to shed snow before the design load is exceeded, or alternatively provide structural capacity to meet or exceed required roof snow load requirements of specified site. The architectural membrane shall be continuous from the base of the structure to the peak and manufactured in such a way that no eave will exist.

A. To reduce premature wear points, at no time may the fabric come in contact with the steel truss arch.

2.2.3 Membrane used in the building design shall be designed to withstand the corrosive UV light according to the manufacturer warranty.

2.2.4 Base tensioning system: The membrane cladding will be provided with a mechanical tensioning system that allows the membrane to be fully tensioned around the structure perimeter each panel. The system will be designed such that the membrane can be tightly and neatly secured over the structural frame and that the system has a remaining range of adjustment.

2.6 Converting raw fabric to finished membrane cover; To ensure quality control:

- A. Raw fabric converted to finished product must be manufactured on the same site as steel trusses and under the same supervision for complete building package continuity and quality control.
- B. Conversion plant/personnel must be CSA S367 Certified.
- C. Produce documented evidence that fabricator personnel have been trained no less than 160 hours in practical application.
- D. Fabric welding and construction of fabric covers shall be completed in a dedicated production plant, with the floor heated to 70 degrees Fahrenheit (+/- 2 degrees), and full environmental controls via HVAC system throughout the plant.
- E. Fabric conversion systems will include “inline vision systems” for 100% testing of weld parameters, continuously monitoring weld temperatures throughout the entire process. “Spot checking” will not acceptable practice.
- F. **Fabric Panels using keder connection to truss MUST have a 2” weld – no exceptions.**
- G. In-house testing of raw fabric and new welds shall be completed daily using a 4 hour test utilizing certified Instron Lab Equipment as described below in the chart:

Fabric Testing Requirements Per CSA S367-12 & ASTM D4851-07				
Test Type	Test Speed (in/min)	Test Length (between jaws)	Limits (min)	Notes
Weld Adhesion Warp (Peel)	2"	4" separation	5 lbs/in	Sample strip to be 1" x 8", strip fabric down from 1 layer to a distance of 2" prior to testing. Must specify failure mode.(CAF)
Weld Adhesion Weft (Peel)	2"	4" separation	5 lbs/in	
Shear Strength Warp (Breaking Force/Tensile)	2"	3"	216 lbf/in	Limits are 90% of coated fabric from manufacturer. Test specimens to be long enough to extrude 1/2" through bottom and top clamps
Shear Strength Weft (Breaking Force/Tensile)	2"	3"	189 lbf/in	
Static Load Test	200% of max. design service load	4 hrs	60 lbs/in	To be tested at 20C, results to be reported as % elongation

2.3 METAL SPECIFICATIONS

2.3.1 All steel tubing used in the structure must have the following minimum structural and mechanical properties (ASTM A-500):

- | | | | |
|-----------|--------------------------------|--------------------|------------------|
| 1. Tube: | ASTM A500/CSA G-40.21 (350W) | Tensile 61,600 PSI | Yield 45,700 PSI |
| 2. Plate: | ASTM A500/Gr 50 CSA G40.21-50W | Tensile 65,000 PSI | Yield 50,000 PSI |

2.3.2 All steel flat bar, truss components shall be fabricated and hot dipped galvanized **post fabrication** to ASTM A123-12 meeting ASTM Standard B6 zinc coatings.

PART 3

3.1 REFERENCES AND STANDARDS

3.1.1 Except where more stringent requirements are specified, comply with the applicable requirements of the following organizations and standards, for products, materials, and construction methods:

- American Institute of Steel Construction (AISC)
- American Iron and Steel Institute (AISI)
- American Society of Civil Engineers (ASCE 7-10 Minimum Design Loads for Buildings and Other Structures)
- American Welding Society (AWS)

3.1.2 The following publications are for the standards listed below but referred to thereafter by basic letter designation only. They form a part of this specification to the extent referenced thereto: American Institute of Steel Construction (AISC):

- A. ASCE 7 - Minimum Design Loads for Buildings and Other Structures; American Society of Civil Engineers; 2011.
- B. ASTM A36/A36M - Standard Specification for Carbon Structural Steel; 2008.
- C. ASTM A53/A53M - Standard Specification for Pipe, Steel, Black and Hot-Dipped, Zinc-Coated, Welded and Seamless; 2012.
- D. ASTM A307 - Standard Specification for Carbon Steel Bolts, Studs, and Threaded Rod 60 000 PSI Tensile Strength; 2012.

E. ASTM A325 - Standard Specification for Structural Bolts, Steel, Heat Treated, 120/105 ksi Minimum Tensile Strength; 2010.
F. ASTM A325M - Standard Specification for Structural Bolts, Steel, Heat Treated 830 MPa Tensile Strength (Metric); 2013.
G. ASTM A500/A500M - Standard Specification for Cold-Formed Welded and Seamless Carbon Steel Structural Tubing in Rounds and Shapes; 2010a.
H. NFPA 701 - Standard Test Method for Surface Burning Characteristics of Building Materials; 2013a.
I. AWS D1.1/D1.1M - Structural Welding Code - Steel; American Welding Society; 2010 or CWB Canadian Welding Bureau.
J. NFPA 701 - Standard Methods of Fire Tests for Flame Propagation of Textiles and Films; National Fire Protection Association; 2010.
K. SSPC-SP 6 - Commercial Blast Cleaning; Society for Protective Coatings; 2007.
L. SSPC-Paint 20 - Zinc-Rich Primers (Type I, "Inorganic," and Type II, "Organic"); Society for Protective Coatings; 2002 (Ed. 2004).
M. SSPC-Paint 22 - Epoxy-Polyamide Paints (Primer, Intermediate, and Topcoat); Society for Protective Coatings; 1982 (Ed.2004).

3.1.3 PAINTING: Painting of steel components shall only be utilized if necessary for field repairs and shall not be employed as a factory finish. Should field repair be necessary, a zinc rich field coat shall be used.

3.1.4 FIELD WELDING: In-Field fabric welding is accepted as a standard method of joining panels, rounding corners, repairing minor cuts or abrasions.

3.1.5 COLORS: As selected by the Director's Representative from standard Manufacturer's Color charts

3.1.6 ADJUSTING: Repair cut, welded, and/or abraded galvanized surfaces with a minimum 2 mil thick coating of cold galvanizing compound (containing 93 percent zinc) applied in accordance with manufacturer's instructions.

3.1.7 APPROVED MANUFACTURERS:

1. The following manufacturers are preapproved and meets or exceeds this Specification.

**Britespan Building Systems Inc.
688 Josephine Street North, RR#1
Wingham, Ontario N0G 2W0
Phone No. 1-800-407-5846**

**Rubb USA
1 Rubb Lane
Sanford, ME 04073
Phone No. 1-207-324-2877**

**Big Top Manufacturing
3255 US-19
Perry, FL 32347
Phone No. 1-850-584-7786**

1. Equal manufacturer must be approved by director 7 days prior to bid opening.
2. Bidder must note manufacturer of structure at time of bid and may not be changed after.

END OF SECTION

BID FORM

SALT SHED STORAGE BUILDING **GRAND TOTAL\$** _____

Addendums Acknowledged: _____

Enclosed herewith find (certified check) (bidder's bond) in the amount of _____
_____ Dollars (\$ _____)

Being at least 5% of the amount of the proposal, made payable to the (City Name) as a proposal guarantee which is agreed by the undersigned will be forfeited in the event the Form of Contract and Bond is not executed, if awarded to the undersigned.

This proposal dated the _____ day of _____, 20_____

Signed: _____ as an individual

Name: _____ Address: _____

or

Signed: _____ for _____ a partnership

Name: _____ Address: _____

Name: _____ Address: _____

or

Signed: _____ for _____ a corporation,

incorporated under the laws of the State of _____

Name of President: _____

Business Address: _____

AWARD OF CONTRACT/PROJECT SCHEDULE

AWARD OF CONTRACT

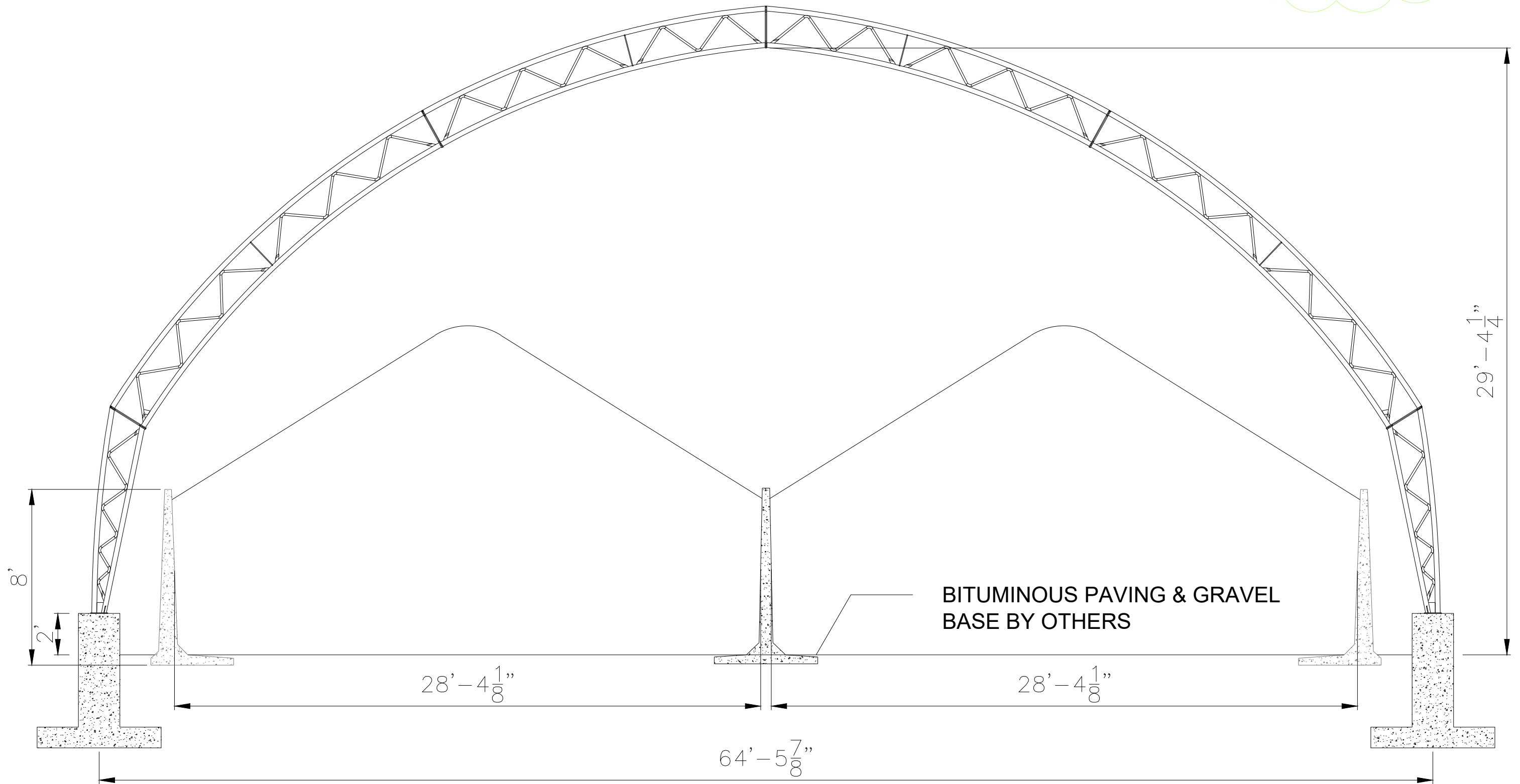
Award to the lowest responsive, responsible or bidder meeting specifications. No bidder may withdraw the bid within thirty (30) days after the scheduled closing time and date for receipt of bids. The City reserves the right to reject any or all bids and to waive informalities and award to the best interest of the City of (insert name).

Bids received until **insert date and time** addressed to City of (insert name, address), Attn: (insert name and title) and marked "Salt Storage Bid".

PROJECT SCHEDULE

Once the contractor is notified of bid award results and received "written notice to proceed" and work has begun it shall be completed without delay in its entirety.

Completion of all work shall be on or before (insert date)





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Brad Strgar, Balkan Township Supervisor



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Exhibit 5 – Site Photos



Facing Northeast



Facing South



Facing West

Facing East





Planning Commission Staff Report

Application Date: 06/24/2024

Date of Staff Report: 07/17/2024

Date of Planning Commission Meeting: 08/06/2024

Staff Contact: Doug Diedrichsen, Principal Planner

Staff Recommendation: Approval

Case Number: 2024-06-06

Project Name: Endeavor Sober Living – CUP

Current Legal Description: Lot 10 Block 4 Prairie
Green Third Addition

Proposed Legal Description: No Change

Present Address: 1101 32nd Avenue SW.

Entitlements Requested: See Project Description

Owners: Endeavor Sober Living

Representative: Jonathan Lane

Present Zone(s): “R3” Multiple Residence District
(RM” Medium Density Residential District
Standards)

Present Use(s): Group Home with up to 6
residents plus staff

Uses Allowed in Present Zone(s): See Table 2.2
for allowed and conditionally permitted uses
within each district.

Present Future Land Use Map Designation:
Suburban Residential

Proposed Zone(s): No Change

Proposed Use(s): Group Home with up to 12 residents
plus staff

Uses Allowed in Proposed Zone(s): See Table 2.2 for
allowed and conditionally permitted uses within each
district.

Proposed Future Land Use Map Designation: No
Change

PROJECT DESCRIPTION:

Public hearing request by Jonathan Lane, representing Endeavor Sober Living., owner for a request of a conditional use permit for a Group Home (7-12 residents plus staff) on a property zoned “R3” Multiple Residence District. The legal description for the property is Lot 10 Block 4 Prairie Green Third Addition to the City of Minot, North Dakota.

The address for the property is 1101 32nd Avenue SW

An aerial photo of the subject property can be found in **Exhibit 1**.

BACKGROUND INFORMATION:

The subject property is located at the intersection 32nd Ave. SW and 11th St. SW. The property is operated by Endeavor Sober Living and owned by Endeavor Holdings, LLC and is utilized as a women's sober living housing facility, which is categorized as a group home under the Land Development Ordinance of the City of Minot (LDO). As of the writing of this staff report, there are twelve (12) residents and a staff member onsite. The LDO permits up to six (6) residents and one (1) staff member within the "R3" Multiple Residence District, which follows the "RM" Medium Density Residential District requirements. The applicant seeks to gain entitlements for the twelve (12) residents currently residing within the building, which requires a conditional use permit. Proposed renovations include providing four (4) beds that would be used for Emergency Residential Service, being a permitted by right use in the "R3" District. These residents would be in addition to the twelve (12) Group Home residents bringing the total number of residents to sixteen (16).

Originally the applicant had been seeking to have the property's use classified as an apartment building, however this would run afoul of the Fair Housing Act's prohibition of discrimination based on sex in housing applications.

A copy of the letter of intent and floor plans may be found in **Exhibit 2**.

A letter of intent can be found in **Exhibit 3**.

A map of the area zoning and future land use can be found in **Exhibit 4**.

Site photos can be found in **Exhibit 5**.

STAFF ANALYSIS:

Conditional Use Permit Analysis:

Section 9.1-4 of the Minot Land Development Ordinance (Zoning Ordinance) recognizes that certain land uses, when under special conditions and review can be compatible with uses that are permitted by right in a zoning district. The review of the conditional use permit (CUP) application and any special conditions imposed by either the Zoning Ordinance or City Staff should occur via a thorough public process as prescribed by Section 9.2-1 including a public hearing, direct noticing to neighboring property owners, and general public noticing within the Minot Daily News. Per Section 9.1-4 I., an amendment to a CUP follows the same process as a new

application. The applicant has submitted the necessary application documents required per Section 9.1-4 C. and noticing has been conducted as required per Section 9.2-1.

Section 9.1-4 F. states that the Planning Commission shall find that the application meets all of the following, as applicable:

1. The request will be harmonious with the general and applicable specific objectives of the City's Comprehensive Plan and this Ordinance.
2. The proposed conditional use at the specified location will not be detrimental to or endanger the health, safety, welfare, comfort, or convenience of the public.
3. The proposed conditional use will not cause substantial injury to the value of other properties within the area in which it is located.
4. The location, size, design, and operating intensity of the proposed conditional use will not prevent the development and use of neighboring property in accordance with the applicable zoning district. In making this determination, the Planning Commission will consider the siting, nature, and height of existing and proposed buildings and structures, and the extent and effectiveness of proposed buffering or landscaping.
5. Adequate public services and facilities exist or will be provided by the developer at the time of development, including adequate utilities, water and sewer systems, drainage structures, and other such facilities and services which are necessary to serve the development.
6. The request will not create excessive additional requirements for public facilities and services at public cost and will not be detrimental to the economic welfare of the community.
7. Adequate access roads or entrance and exit drives exist or will be provided by the developer to prevent traffic safety hazards and minimize traffic congestion on public streets.
8. The request will not result in the destruction, loss, or damage of a natural, scenic, or historic feature of major importance.

Staff finds the proposed use to be harmonious with the comprehensive plan future land use map designation of Suburban Residential and the LDO. Section 9.1-4 F. 1. is satisfied.

Related to Section 9.1-4. F. 2 thru 4 generally relate to the overall impact of a proposal on property within the vicinity. Group homes for up to six (6) residents and staff as a general land use category are already permitted within "R3" Multiple Residence Districts without the requirement of a conditional use permit. Staff finds that with no substantive change in the existing density of residents and ample onsite off street parking the impact to other properties in the vicinity would be negligible, staff finds that Section 9.1-4. F. 2 thru 4 is satisfied.

Staff finds Section 9.1-4. F. 5. related to the provision of appropriate public services such as utilities and drainage systems is satisfied, as no new public utilities are being sought and existing public utilities are adequate to support the proposed use.

Staff finds that Sections 9.1-4. F. 6. and 7. related to maintaining community economic welfare and providing adequate road access, respectively, are satisfied. There is currently adequate access onto 11th St. SW, and improvements, if any were required, would be at the expense of the developer to satisfy these two evaluative criteria going forward.

Finally, Section 9.1-4. F. 8. is satisfied, as Staff does not have any evidence that the request will result in the destruction, loss, or damage of a natural, scenic, or historic feature of major importance.

Comments:

- a) There were no public comments at the time of writing this staff report.
- b) The application was distributed to city departments and external public agencies within the City for review and the following comments were received:
 - a. Engineering
 - i. Needs adequate onsite parking.

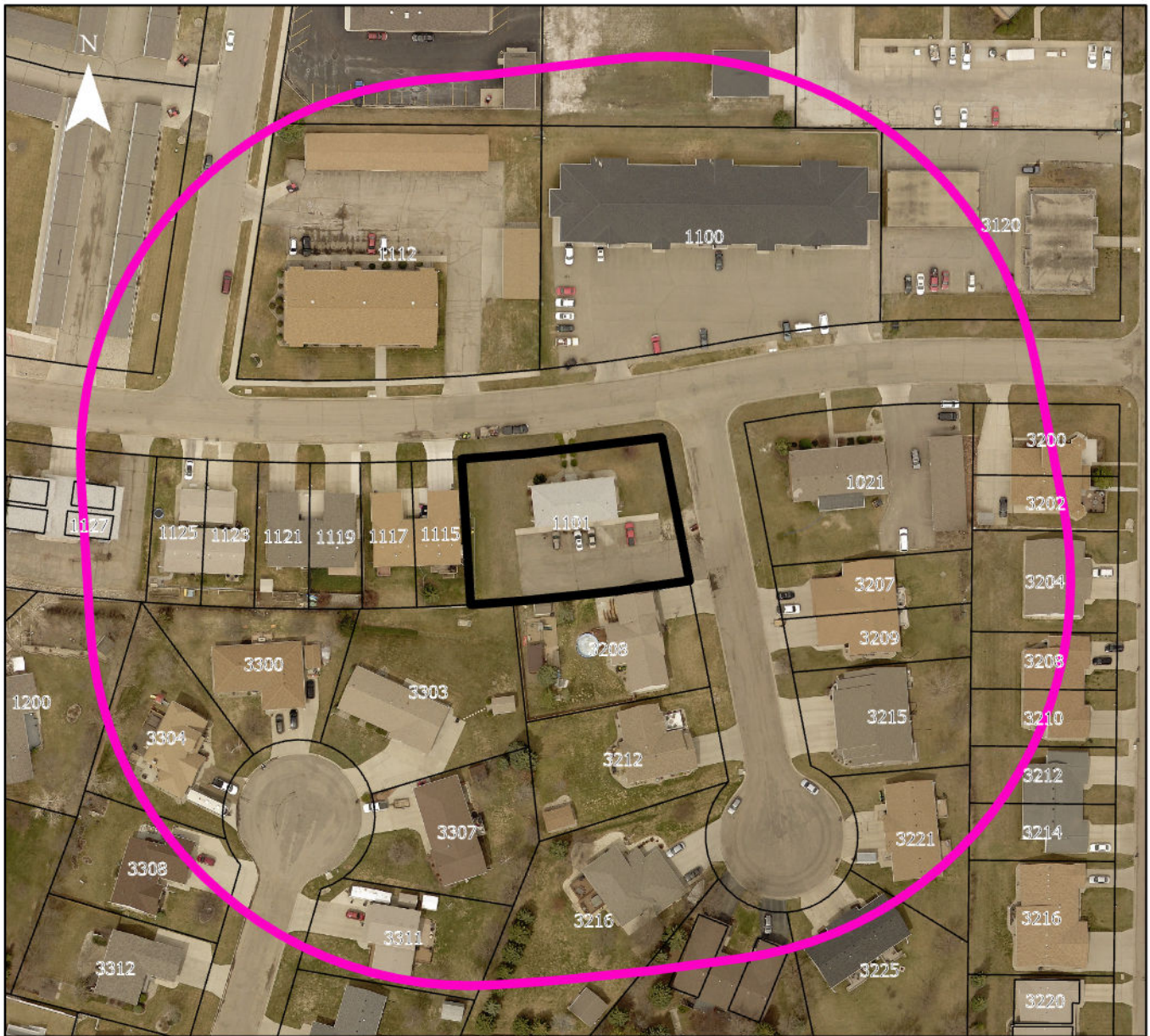
FINDINGS OF FACT:

The Minot Planning Commission should accept the following findings of facts:

- 1) The applicant has submitted a complete application.
- 2) The property is zoned “R3” Multiple Residence District
- 3) The City of Minot 2040 Comprehensive Plan Future Land Use Map designates this area as Suburban Residential.
- 4) The proposal satisfies the evaluative criteria per Section 9.1-4. F. 1 thru 8. as outlined in the Staff Analysis section of staff’s written report.
- 5) The Minot Planning Commission has the authority to hear this case and decide whether it should be approved or denied, with or without conditions. The public notice requirements were met, the hearing was legally noticed and posted and the hearing was held and conducted under the requirements of North Dakota Century Code and Minot City ordinances.

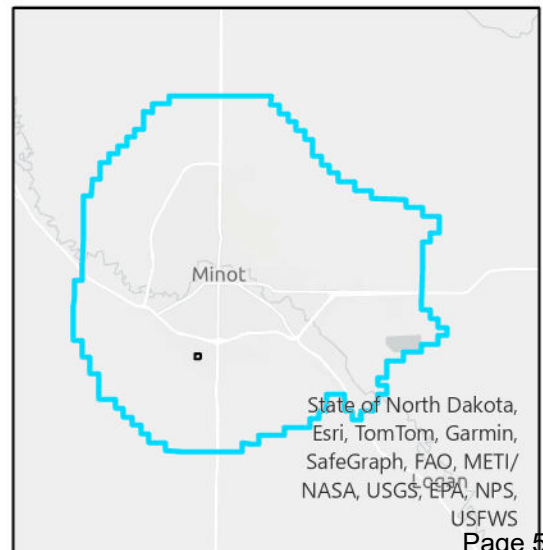
RECOMMENDATION:

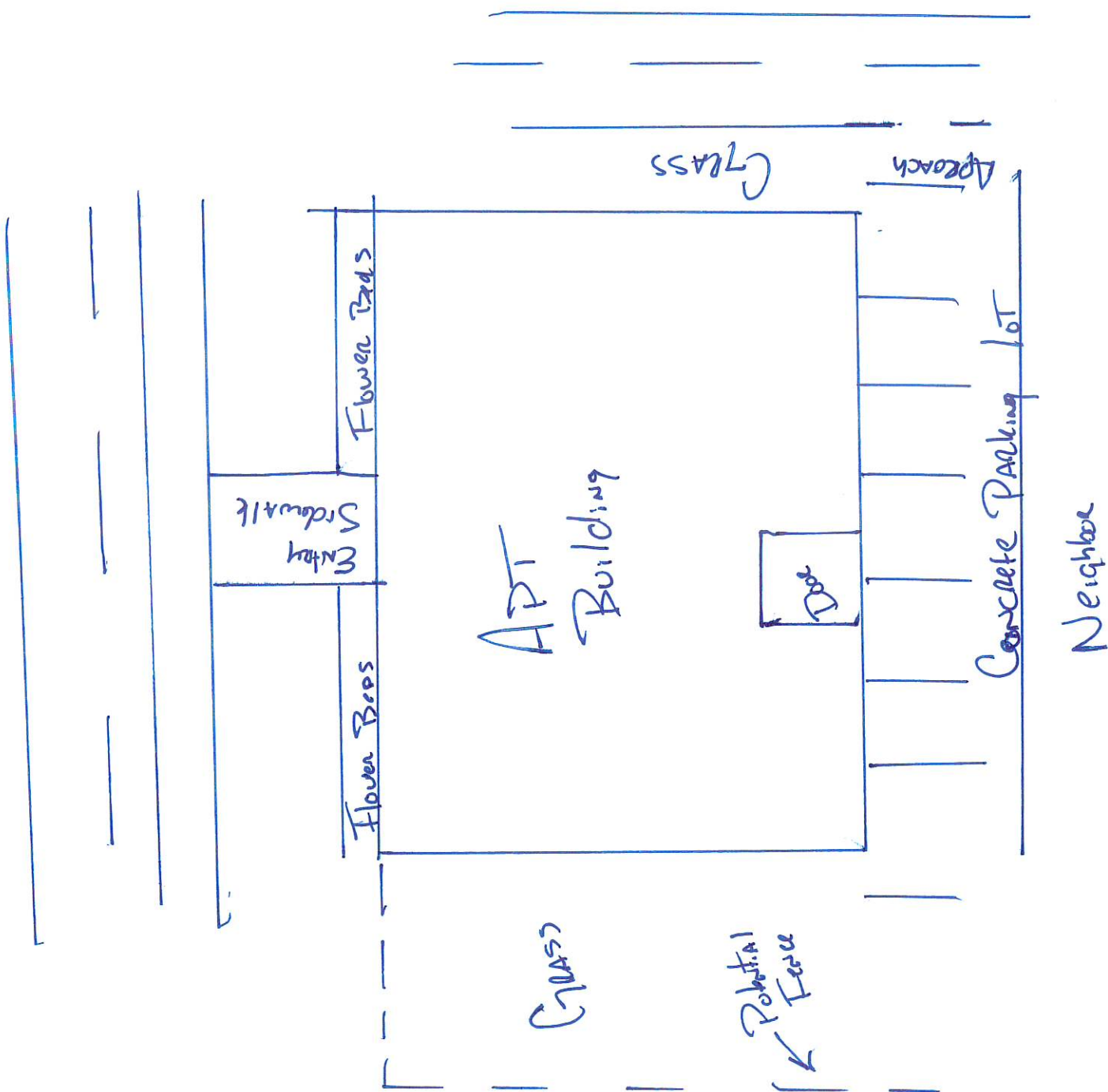
Staff recommends the Planning Commission adopt the staff findings of fact and approve the conditional use permit for a group home with up to twelve (12) residents plus staff.



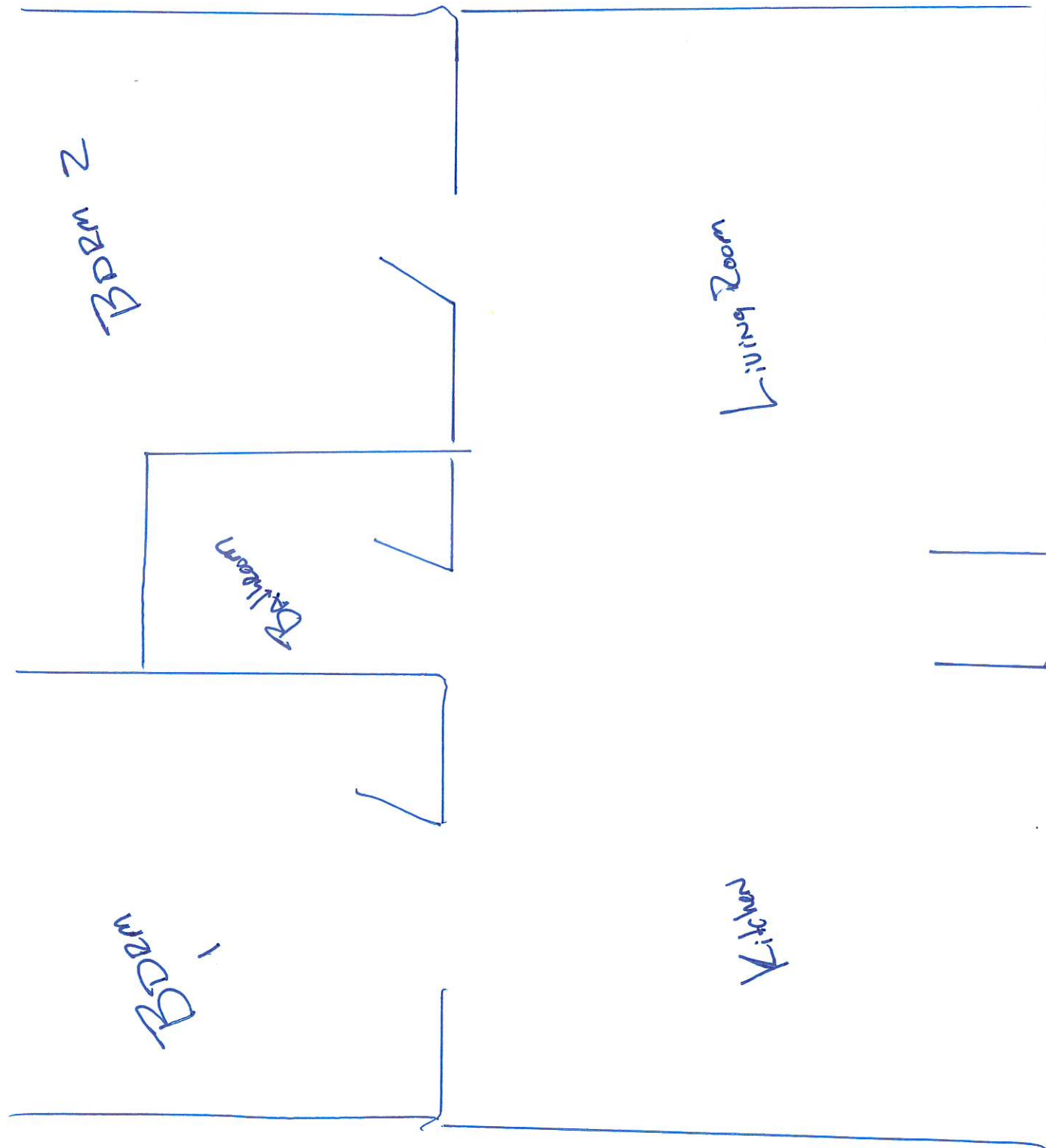
0 87.5 175 350 Feet

-  Case # 2024-06-06
-  Case # 2024-06-06 Notification Area





ESL Sober living Apartments 2 Apts	ESL Sober living Apartments 2 Apts
ESL Sober living Apartments	ESL Sober living Apartments 2 Apts
ESL Emergency Trauma housing 2 Apts	ESL Emergency Trauma housing 2 Apts



12909 Longview Dr
Arnegard ND, 58835

PO Box 1286
Watford City, ND 58854

1101 32ND AVE SE
MINOT, ND 58701

PO BOX 3104
MINOT, ND 58701

Date: 07/01/2024

To Whom It May Concern,

We are pleased to announce the conversion of our recently purchased and refurbished apartment building into a safe haven for pregnant and parenting women, providing them with a nurturing environment to support their journey to sobriety. The top four apartments have been designated as sober living units, while the remaining two apartments are reserved for emergency housing for women who have experienced sexual or physical trauma. Our goal is to be a beacon of hope in Minot, ND. With your approval we know this can be a successful venture.

Our facility in McKenzie County has successfully achieved similar objectives for men, and we are confident that Minot, with its abundant resources, is ideally suited to meet the needs of our target demographics.

kind regards,

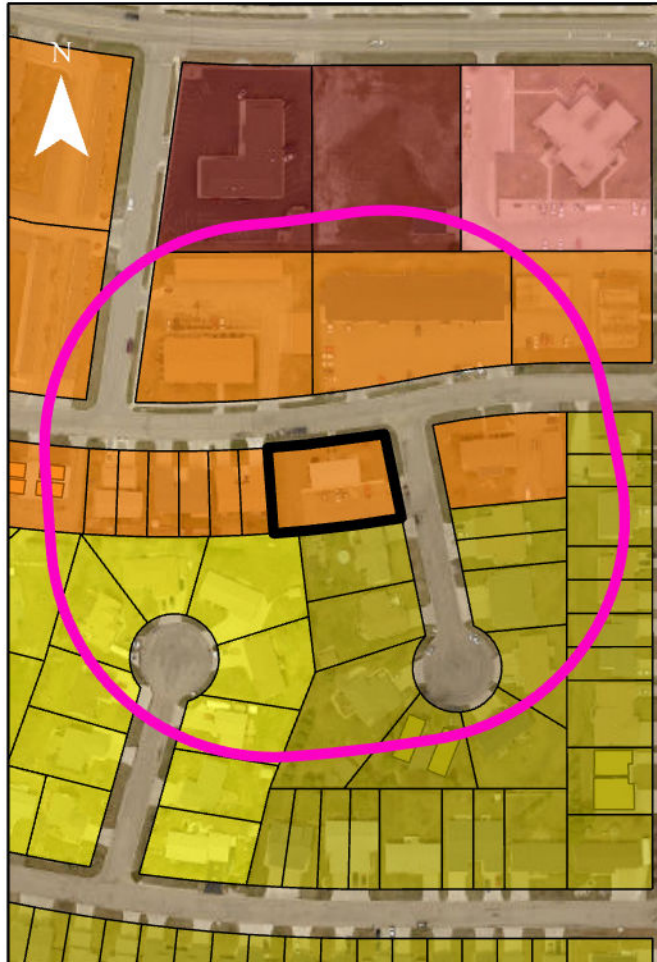


Jonathan Layne
Owner/Founder
jlayne@trinitygroupnd.net
303-587-8606

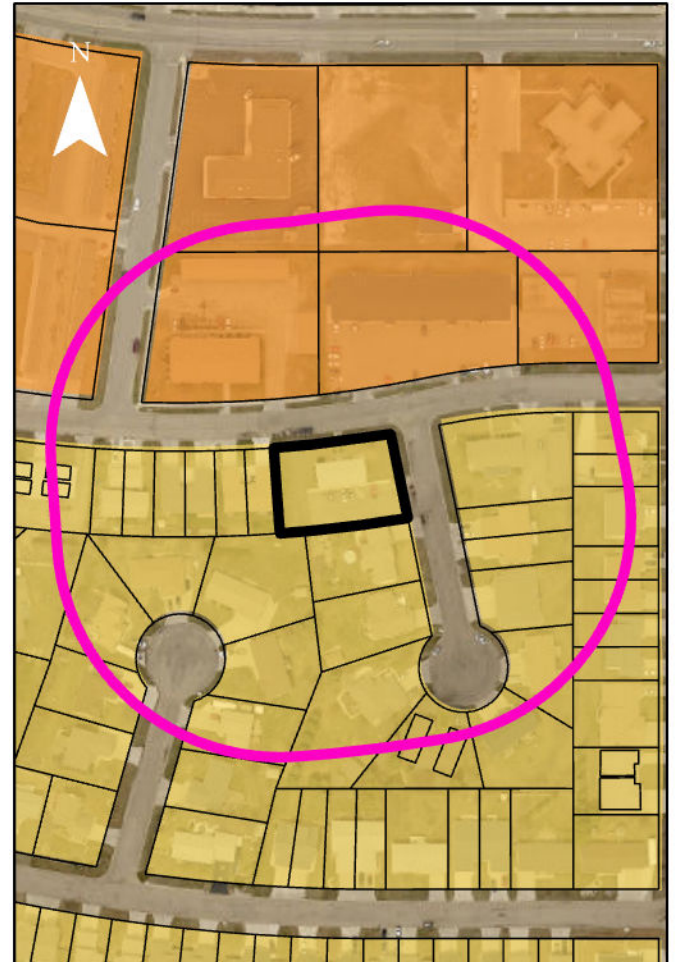


ENDEAVOR
SOBER LIVING

ZONING



FUTURE LAND USE



0 125 250 500 Feet

Zoning

Zoning	
	C2
	C4
	R1
	R2
	R3
	R3B

Both Maps

	Case # 2024-06-06
	Case # 2024-06-06 Notification Area

Land Use Type

	Suburban Residential
	Urban Residential

Exhibit 5 – Site Photos



Facing Southeast



Facing North



Facing West



Facing East



Planning Commission Staff Report

Application Date: 07/01/2024

Date of Staff Report: 07/18/2024

Date of Planning Commission Meeting: 08/06/2024

Staff Contact: Doug Diedrichsen, Principal Planner

Staff Recommendation: Approval/Denial

Case Number: 2024-07-01

Project Name: Great Plains Addition - Zone Change, Prelim Plat

Current Legal Description: N1/2 SE1/4 Section 23, Township 155 North, Range 82 West, Ward County, North Dakota.

Proposed Legal Description: Great Plains Addition

Present Address: See Project Description

Owners: Leann J Zablotney Living Trust

Representative: Travis Zablotney

Entitlements Requested: See Project Description

Present Zone(s): "C2" General Commercial District

Present Use(s): Vacant/Agricultural Land

Uses Allowed in Present Zone(s): See Chapter 2.2 for allowed and conditionally permitted uses within each district.

Present Future Land Use Map Designation: Gateway Commercial

Proposed Zone(s): "M1" Light Industrial District

Proposed Use(s): Sales or service of industrial, agricultural, and construction equipment and semi-trucks & Unspecified Commercial/Industrial

Uses Allowed in Proposed Zone(s): See Chapter 2.2 for allowed and conditionally permitted uses within each district

Proposed Future Land Use Map Designation: No Change Requested

PROJECT DESCRIPTION:

Public hearing request by Travis Zablotney, representing Leann J Zablotney Living Trust, owner for a request of a preliminary plat to create two (2) lots for an unplatted half section of land zoned as "C2" General Commercial District. The applicant also requests the property be rezoned to "M1" Light Industrial. The legal description for the property is the N1/2 SE1/4 Section 23, Township 155 North, Range 82 West, Ward County, North Dakota.

An aerial, including the notification boundary, is provided in **Exhibit 1**.

BACKGROUND INFORMATION:

This is the first phase of development and entitlements for this property. There was an application submitted in 2013 for a zone change, however this zoning map amendment was never brought to the City Council for second reading and the final plat was not submitted or recorded.

The application includes platting two lots from unplatted property. The requested zone changes allow for the intended development by right, however the intended use could be developed under the current zoning classification with a conditional use permit. The requested zoning change to “M1” would allow for the development intent of lot one by right (Sales or service of industrial, agricultural, and construction equipment and semi-trucks). No specific uses have been divulged at the time of writing this staff report for lot 2.

The application does not include a future land use map amendment; however, this could be requested as a condition of the proposed rezoning.

The preliminary plat is provided in **Exhibit 2**.

The zoning and future land use map of the subject property provided in **Exhibit 3**.

Site photos are provided in **Exhibit 4**.

STAFF ANALYSIS:

Zoning Map Amendment Analysis:

Section 9.1-7 of the Minot Land Development Code provides the procedures for amending the official zoning map of the City of Minot. Section 9.2 provides the noticing requirements for public hearings held by the Planning Commission. Section 9.1-7 D. recognizes that the future land use map may need to be amended to support any rezoning request. The applicant has submitted the necessary application documents required per Section 9.1-7 C. and noticing has been conducted as required per Section 9.2.

The subject property maintains the future land use designation of Gateway Commercial on the 2040 Future Land Use Map (2040 FLU Map).

Proposed Lot 1 of Great Plains Addition would become a light industrial property. This lot is directly west of a property with a residential zoning district classification of “MH” Mobile Home District, with a Gateway Commercial designation on the 2040 FLU Map. Both lots would be directly south of a property zoned “M2” Heavy Industrial adjacent to the BNSF rail line and right-of-way with a Light Industrial designation on the 2040 Future Land Use Map the eastern property line is the ETJ boundary.

Section 9.1-7 E. 2. requires the Planning Commission to provide findings of fact to ensure the criteria included in Section 9.1-7 H. has been satisfied in order to support any recommendation regarding any proposed changes to the zoning map or Future Land Use Map. Staff provides the following guidance:

Section 9.1-7 H. relates to whether or not the proposed zoning map amendment is justified due to a change in conditions, error in the zoning map, or in order to fulfill the future land use map of the Comprehensive Plan. The request does not reflect any change in conditions as the land remains undeveloped, an error on the official zoning map or fulfill the objectives of the Future Land Use Map. There are no errors in the official zoning map as the property was zoned commercial C-2 by Ward County in 1962 and was taken into the City of Minot's ETJ with a "C2" designation. The request for "M1" classification does not fall under the complementary zoning districts for Gateway Commercial as outlined in Chapter 3 of the 2040 Comprehensive Plan. Section 9.1-7 H. 1 is not satisfied.

The City and other agencies will be able to provide necessary public services and facilities to serve the proposed development. All expansions of service would be completed at the expense of the developer. Section 9.1-7 H. 2 is satisfied.

Section 9.1-7 H. 3 requires that the proposed zoning map amendment will not substantially diminish the condition or value of property in the vicinity. Staff finds evidence that the amendment to "M1" Light Industrial District could diminish the condition or value of property within the vicinity. That adjacent residentially zoned property would be surrounded by industrial zoned properties while maintaining a future land use map designation that restricts its ability to rezone to an industrial district without additional application burdens placed on the adjacent property owner. Section 9.1-7. H. 3. is not satisfied.

Section 9.1-7. H. 4. requires the zoning change to be consistent with the purpose of the Land Development Ordinance of the City of Minot, the Comprehensive Plan, and other adopted plans and policies of the City. The proposed development must comply with all development standards within the Land Development Ordinance of the City of Minot and the zoning map amendment will align with the future land use designations of Gateway Commercial within the 2040 Comprehensive Plan. Therefore, Section 9.1-7. 4. is not satisfied.

Subdivision Design Standards:

Section 10.2-7 C. of the Land Development Ordinance of the City of Minot (LDO) covers the process of application and submittal for a major subdivision preliminary plat. The applicant has submitted the necessary application documents required per Section 10.2-7 C. 2. and noticing has been conducted as required per 9.2-1 (B) and (C).

Section 10.2-7. D. requires that staff's report consider the nature of the proposed development as prescribed within Section 10.2-5 relating to whether or not it meets the technical requirements of Article 10, and if not,

whether any such requirements should be waived. To that end, staff provides the following guidance based on the various requirements of Chapter 10.3 – Design Standards:

Section 10.3-1, requiring the proposed subdivision to be designed in accordance with the standards of Chapter 10.3, the Land Development Ordinance as a whole, and a list of various other plans and codes, is satisfied with conditions as further elaborated within this section of the written report.

Section 10.3-2 prohibits the approval of the subdivision of land that is unsuitable for development due to a variety of reasons. Staff finds the proposed preliminary layout will not create a lot that is unsuitable for development. Therefore, Section 10.3-2 is satisfied.

Section 10.3-3. requires that a subdivision name not already be utilized elsewhere and spelled correctly. The name Great Plains Addition has not yet been taken and is spelled correctly. Section 10.3-3 is satisfied.

Section 10.3-4. A-F. relating to Street Names and Numbering is applicable and satisfied, as there are no additional streets proposed via this subdivision. Addressing will be assigned to each lot following completion of the final plat process, if approved.

The requirements of Section 10.3-11. relating to the design of the individual lots has been satisfied as the proposed properties to be created will meet the minimum lot sizes of the respective district for which they will be zoned, if approved. In short, the lots meet the dimensional standards per Section 10.3-11.

Section 10.3-12 relating to block design is satisfied.

The requirements of Section 10.3-13 relating to the dedication of right-of-way, easements, and street widths is satisfied with conditions. Per the recommendations of the Engineering Department a frontage road may be required if the need is identified by the traffic impact study that will be required prior to development of the property.

Sections 10.3-14 related to sidewalks is not applicable.

Section 10.3-15 related to public utilities is satisfied with conditions. The Engineering Department has provided comments surrounding the necessary public utilities that must accompany this development. The following are identified as related to the necessary public utilities for the development and are recommended to be included in a development agreement:

- Traffic impact study required and must be approved by the city and NDDOT
- Access locations must be approved by NDDOT. A frontage road may be required.

Section 10.3-21 relates to financial security provided to the City when infrastructure is being installed. This helps ensure that infrastructure is not left in a half-constructed state by requiring proof the costs associated with construction are available prior to beginning work. Section 10.3-21 is satisfied with the following condition:

- A financial security shall be provided to the City meeting the requirements of Section 10.3-21.

Section 10.3-22 is satisfied, as the applicant is required to follow all City permitting processes for construction. This includes a storm water master plan (SWMP), payment of sewer connection fees, and meeting all floodplain development requirements.

- Sewer connection fees apply
- Storm water management plan required

The comments from Engineering and Ward County WRD have been incorporated into the recommended conditions of approval and are further outlined in the staff analysis section surrounding compliance with Chapter 10.3 of the Land Development Ordinance.

FINDINGS OF FACT:

The Minot Planning Commission should accept the following findings of facts:

- 1) The applicants have submitted a complete application.
- 2) The present zoning is "C2" General Commercial District and the 2040 Comprehensive Plan Future Land Use Map designates this area as Gateway Commercial.
- 3) The proposed zoning amendment fails to satisfy the evaluative criteria of Section 9.1-7. H. 1. thru 4. of the Land Development Ordinance as explained in the Staff's Analysis section of the written report.
- 4) The proposed preliminary plat meets the subdivision design requirements of Chapter 10.3, as applicable, subject to conditions as explained in the Staff Analysis section of the written report.
- 5) The Minot Planning Commission has the authority to hear this case and provide a recommendation to City Council whether the zoning amendment, and preliminary plat be approved, with or without conditions, or denied. The public notice requirements were met, the hearing was legally noticed and posted, and the hearing was held and conducted under the requirements of North Dakota Century Code and Minot City ordinances.

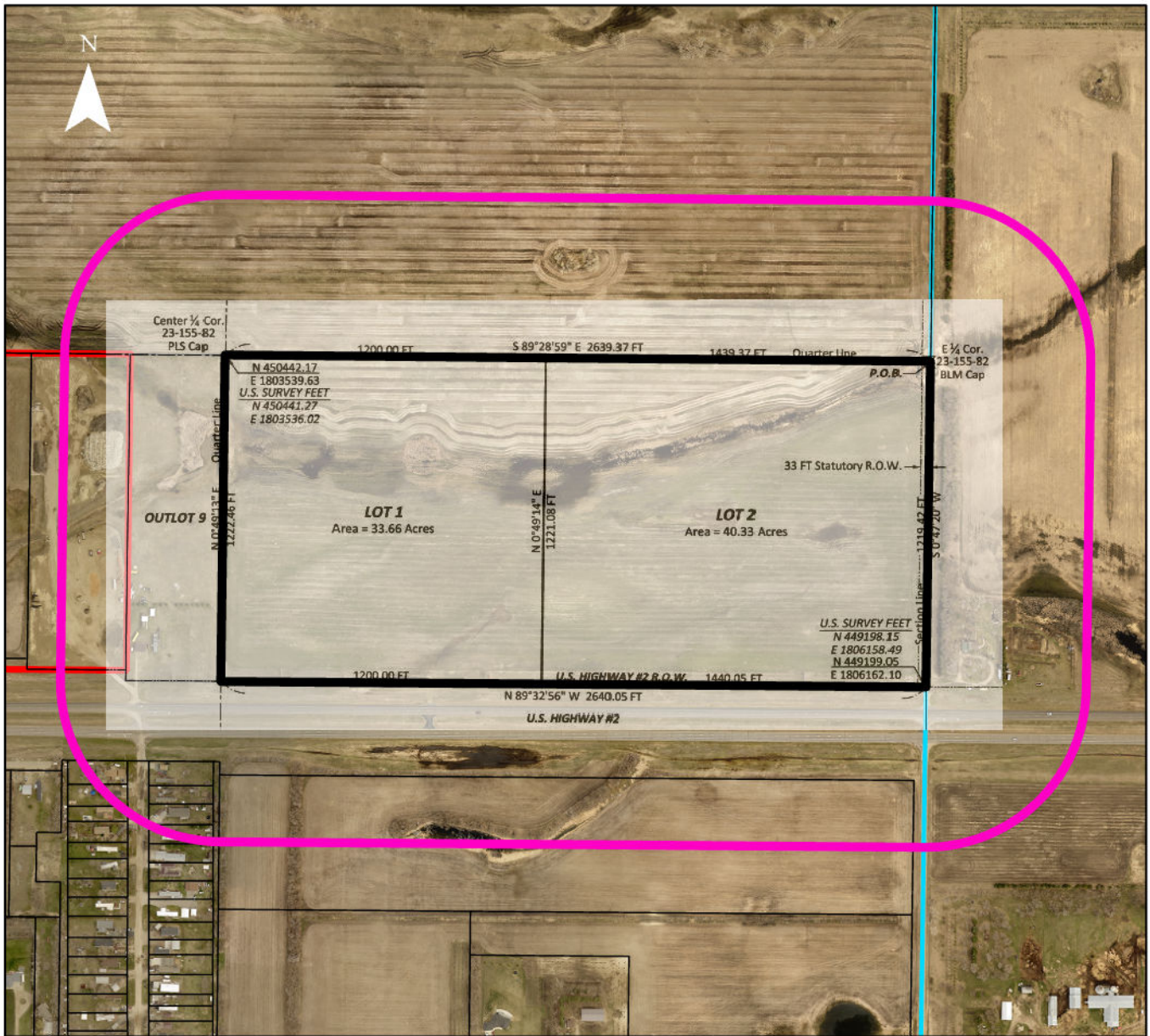
RECOMMENDATION:

Staff recommends the Planning Commission adopt staff's findings of fact and recommend approval to City Council for:

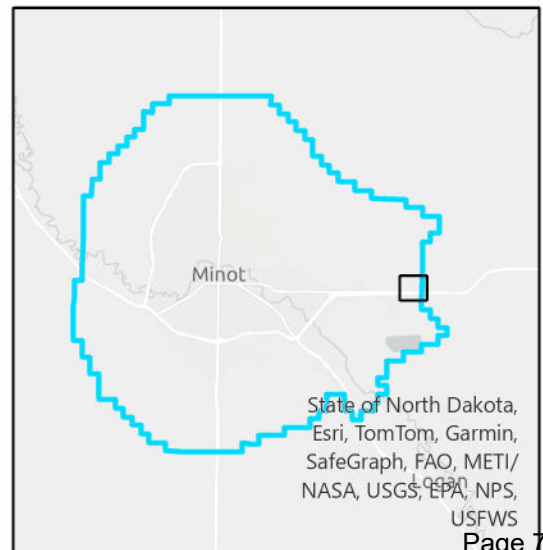
- 1) A preliminary plat for Great Plains Addition subject to the following conditions:
 - Traffic impact study required and must be approved by the city and NDDOT
 - Access locations must be approved by NDDOT. A frontage road may be required.
 - Sewer connection fees apply
 - Storm water management plan required
 - Developer's agreement required for any public street and utility improvements associated with the development

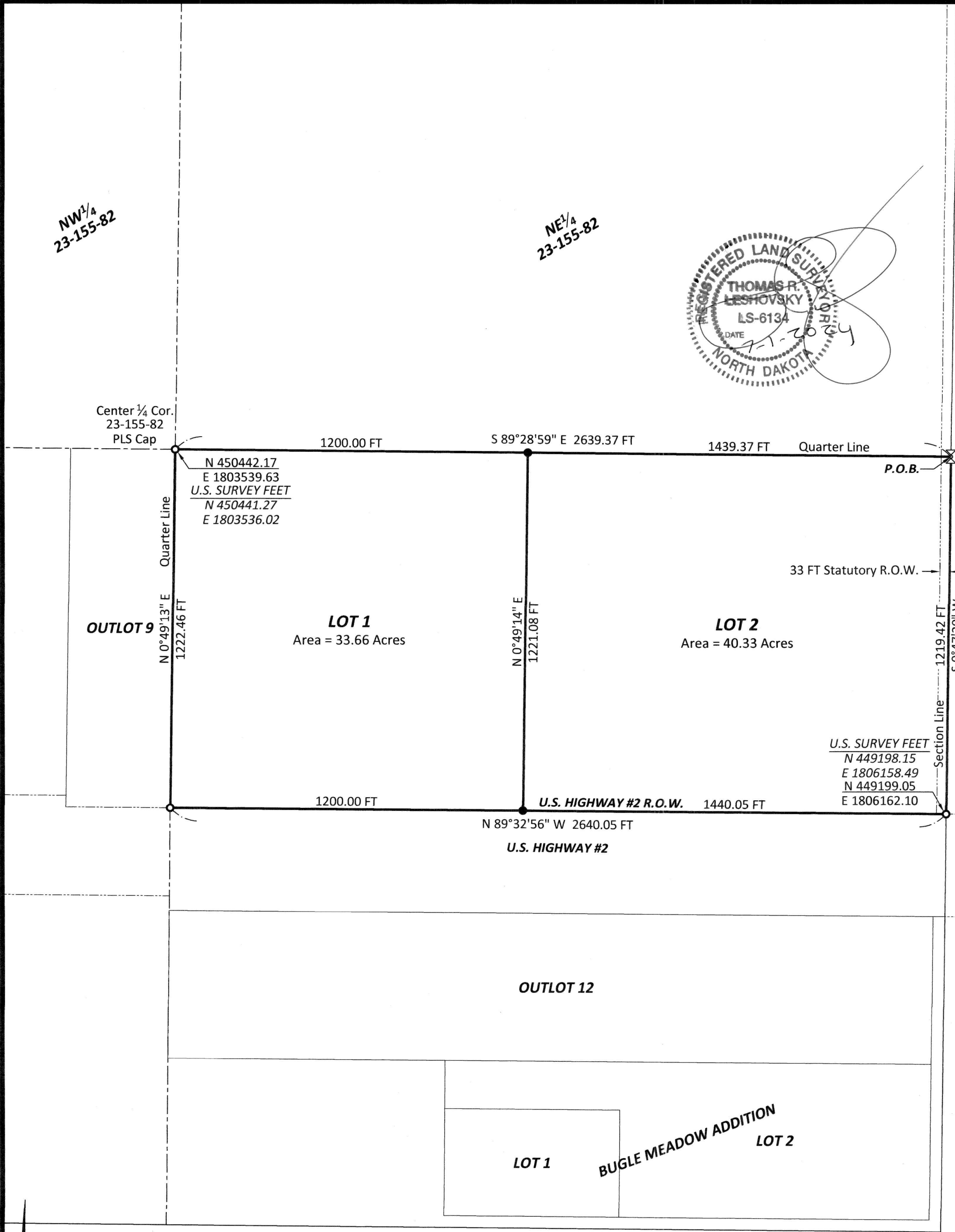
Staff recommends the Planning Commission adopt staff's findings of fact and recommend denial to City Council for:

- 1) A zoning map amendment from "C2" General Commercial District to "M1" Light Industrial District based on the applications failure to satisfy all evaluative criteria as required by the City of Minot Land Development Ordinance.



- Two Mile Boundary
- City Limits
- Case # 2024-07-01
- Case # 2024-07-01 Notification Area





GREAT PLAINS ADDITION TO THE CITY OF MINOT, NORTH DAKOTA

BEING THE N $\frac{1}{2}$ SE $\frac{1}{4}$
SECTION 23, TOWNSHIP 155 N, RANGE 82 W,
TO THE CITY OF MINOT

DESCRIPTION:
Know all men by these presents that LEANN J ZABLOTNEY LIVING TRUST, being Owner and Proprietor, of the N $\frac{1}{2}$ SE $\frac{1}{4}$, Section 23, Township 155 N, Range 82 W, of the 5th Principal Meridian, to the City of Minot, North Dakota, being more particularly described as follows:
Beginning at the East Quarter Corner, of Section 23, Township 155 N, Range 82 W, of the 5th Principal Meridian; Thence S 0°47'20" W, on the East Line of the Southeast Quarter, of said Section 23, a distance of 1219.42 FT, to a Point being on the North Right of Way Line of U.S. Highway #2; Thence N 89°32'56" W, on the said North Right of Way Line, a distance of 2640.05 FT, to a Point being on the North-South Quarter Line, of said Section 23; Thence N 0°49'13" E, on the said North-South Quarter Line, a distance of 1222.46 FT, to the Center Quarter Corner, of said Section 23; Thence S 89°28'59" E, on the East-West Quarter Line, of said Section 23, a distance of 2639.37 FT, to the Point of Beginning.
Said described tract, of land contains 73.99 Acres more or less. Have caused the same to be surveyed and platted as shown hereon, to be known as Great Plains Addition, to the City of Minot, North Dakota, the owners hereunto affixed their signatures.

Leann J Zabolney
LEANN J ZABLOTNEY LIVING TRUST

On this 13 Day of July, 2024, before me, a Notary Public in and for said State, Appeared Leann J Zabolney, well known to be the person described in the foregoing description and acknowledged to me that she executed the same on her own free act and deed.

My commission expires

KIMBERLY J P FLATEN
Notary Public
State of North Dakota
My Commission Expires May 31, 2027

Kimberly J P Flaten
Notary Public, State of North Dakota

SURVEYOR'S CERTIFICATE
I, Thomas R. Leshovsky, a duly Registered Professional Land Surveyor, do hereby certify that I have Surveyed and Platted, the Foregoing described land. That Lots, Distances, Areas and Locations as shown on the foregoing Plat and in the Description Thereof, are true and correct to the best of my Knowledge and Belief.

Thomas R. Leshovsky
Thomas R. Leshovsky P.L.S. #6134

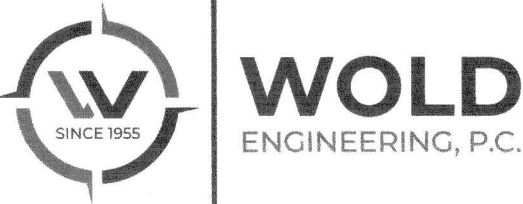
STATE OF NORTH DAKOTA, COUNTY OF Ward
On this 13 Day of July, 2024, before me, a Notary Public in and for said State, Appeared Thomas R. Leshovsky, Registered Professional Land Surveyor, well known to be such, and acknowledged to me that he executed the foregoing Surveyor's Certificate as his own free act and deed.

My commission expires

KIMBERLY J P FLATEN
Notary Public
State of North Dakota
My Commission Expires May 31, 2027

Kimberly J P Flaten
Notary Public, State of North Dakota

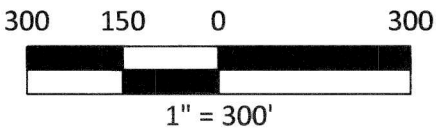
APPROVAL
I hereby certify that the Plat shown hereon has been approved by the Minot Planning Commission and the Minot City Council.
Approved: _____, 2024
Minot City Engineer



915 East 11th Street - PO Box 237 - Bottineau, ND 58318
110 8th Avenue Southwest - Minot, ND 58701
316 Eastdale Drive - PO Box 1277 - Bismarck, ND 58502

NOTES:
• Plat is subject to all prior Easements of Record.
• Bearings and Distances may vary from previous plats due to different methods of measurement.
• A 10' Utility Easement is on the streetside of every Lot.
• State Plane Coordinates shown are North Dakota (North Zone) NAD83 Int. Feet (Unless Otherwise Noted). NGS OPUS Solution was used to establish coordinates.

- - Denotes Property Corner Set 18" - #5 Rebar w/ RLS Cap #6134
- - Denotes Property Corner Found
- × - Denotes Property Corner Offsets



ZONING



FUTURE LAND USE



0 500 1,000 2,000 Feet

Zoning

Zoning	
	AG
	C2
	M1
	M2
	MH
	R1
	RR

Both Maps

	Case # 2024-07-01
	Case # 2024-07-01 Notification Area

Land Use Type

	Light Industrial
	Agricultural and Open Space
	Rural Residential
	Gateway Commercial
	Light Industrial

Exhibit 4 – Site Photos



Facing Northwest



Facing North



Facing East



Facing South